



THE GATEWAY AT GRAND TERRACE SPECIFIC PLAN

June 2023

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CHAPTER 1 INTRODUCTION

1.1 Purpose and Intent

The purpose of The Gateway at Grand Terrace Specific Plan (referred to herein as Specific Plan) is to guide and encourage the development and revitalization of under-utilized land in the southwest portion of the City of Grand Terrace (City). While the City's General Plan is the primary guide for City-wide growth and development, this Specific Plan focuses on the distinctive characteristics of properties within their surrounding context by customizing the planning process and land use regulations specifically in this area, in a manner consistent with the General Plan.

Objectives of The Gateway at Grand Terrace Specific Plan. The Specific Plan intends to:

- ▶ Authorize the redevelopment of a blighted and under-utilized property;
- ▶ Organize a mix of land uses which will provide a variety of housing and businesses, spurring new jobs and services;
- ▶ Implement development standards and design guidelines establishing a vibrant community;
- ▶ Provide diversity of high-quality architecture and landscape with appropriate open space areas;
- ▶ Provide for the distribution, location and extent and intensity of major components of public and private roads, sewage, water, drainage, dry utilities, and other essential facilities within the Specific Plan area and/or needed to support the proposed land uses;
- ▶ Establishes compatibility standards and guidelines to minimize negative impacts on adjacent properties;
- ▶ Include operational and maintenance plans for financing improvements;
- ▶ Provide the extension of Commerce Way from its current terminus point southward to Taylor Street and then Main Street; and
- ▶ Provide public recreational facilities to meet the needs of the community by incorporating a public park with a new baseball field and playground.

1.2 Document Organization

This Specific Plan defines a vision and guiding planning principles for future development, with standards and requirements established for the development of the site. The Specific Plan is arranged into five Chapters and Appendices as follows:

Chapter 1: Introduction: This Chapter describes the purpose and intent of the Specific Plan, site location, Specific Plan Authority, and the role of the California Environmental Quality Act (CEQA) and its role in The Gateway at Grand Terrace Specific Plan.

Chapter 2: Planning Context: Chapter 2 presents a summary of the existing conditions affecting the Specific Plan area, including existing City land use and zoning designations, as well as existing and surrounding development area land uses.

Chapter 3: Development Plan: This Chapter describes the transit, vehicular, bicycle and pedestrian circulation, infrastructure, utilities, public services, and school provisions.

Chapter 4: Development Standards: This chapter includes a development standards overview, a zoning map of The Gateway at Grand Terrace Specific Plan, permitted and prohibited uses, maximum development, residential development standards, and commercial development standards.

Chapter 5: Design Guidelines: This chapter discusses the design principles for the Specific Plan, residential design guidelines, commercial guidelines, landscape, community walls and fencing, and signage throughout The Gateway at Grand Terrace Specific Plan.

Chapter 6: Administration and Implementation: This chapter discusses the provisions for financing/maintenance of improvements and the process for implementation of the Specific Plan's standards and requirements.

Appendix A: Property Ownership: This Appendix identifies the property ownerships within the Specific Plan.

Appendix B: General Plan Consistency: This Appendix provides a summary review of consistency with applicable General Plan policies and programs

1.3 Project Location

The City of Grand Terrace is located approximately 60 miles east of Los Angeles in the southwesterly portion of San Bernardino County (see **Figure 1.3-1: Regional Map**). Main Street serves as the southern boundary of the City, which also coincides with the boundary line between San Bernardino and Riverside counties (see **Figure 1.3-2: Vicinity Map**).

The approximated 112-acre site for The Gateway at Grand Terrace Specific Plan is located in the southwest portion of the City. The Specific Plan area is bounded by Commerce Way and an existing commercial parking lot to the north, Interstate 215 (I-215) to the west, and residential and commercial uses to the east. The southern boundary of the Specific Plan abuts the northern portion of Grand Terrace High School. The southern boundary of the Specific Plan is also in close proximity of Main Street. Because of its adjacency to the I-215 and the County line, the Specific Plan area serves as a natural gateway to the City of Grand Terrace. The visibility from the freeway provides opportunity for the City to showcase their vibrant community, encouraging commercial and residential vitality.



Figure 1.3-1: Regional Map



Figure 1.3-2: Vicinity Map



Legend

-  Gateway Specific Plan Boundary
-  City Boundary

1.4 Specific Plan Authority

California Government Code Sections 65450 through 65457 grants authority to the City of Grand Terrace to prepare and adopt this Specific Plan for the purpose of implementing goals and policies of the Grand Terrace General Plan. The Specific Plan acts as a regulatory document which implements development standards and goals over a portion of the City in keeping with the overall goals of the General Plan.

Upon adoption, this Specific Plan will serve as the new General Plan land use and zoning designations and as the regulatory document for The Gateway at Grand Terrace Specific Plan area, presenting development regulations for the included properties. While The City of Grand Terrace Municipal Code (GTMC) Title 18 establishes development standards for the entire City's overall zones, the Specific Plan zone establishes the necessary plans, land uses, development standards, regulations, infrastructure requirements, design guidelines and implementation programs within the Specific Plan area on which subsequent project-related development activities are to be founded. It is intended that site and architectural review, grading permits and building permits, or any other action requiring ministerial or discretionary approval applicable to this area be consistent with this Specific Plan. Some elements of the development program may be enforced through conditions, covenants and restrictions (CC&Rs) established in conjunction with the subdivision maps for the property.

1.5 California Environmental Quality Act (CEQA) Compliance

A Program Environmental Impact Report (EIR) (State Clearinghouse No. 2021020110.) was prepared and certified (Date TBD) by the City of Grand Terrace for this Specific Plan in accordance with CEQA Guidelines Section 15064.

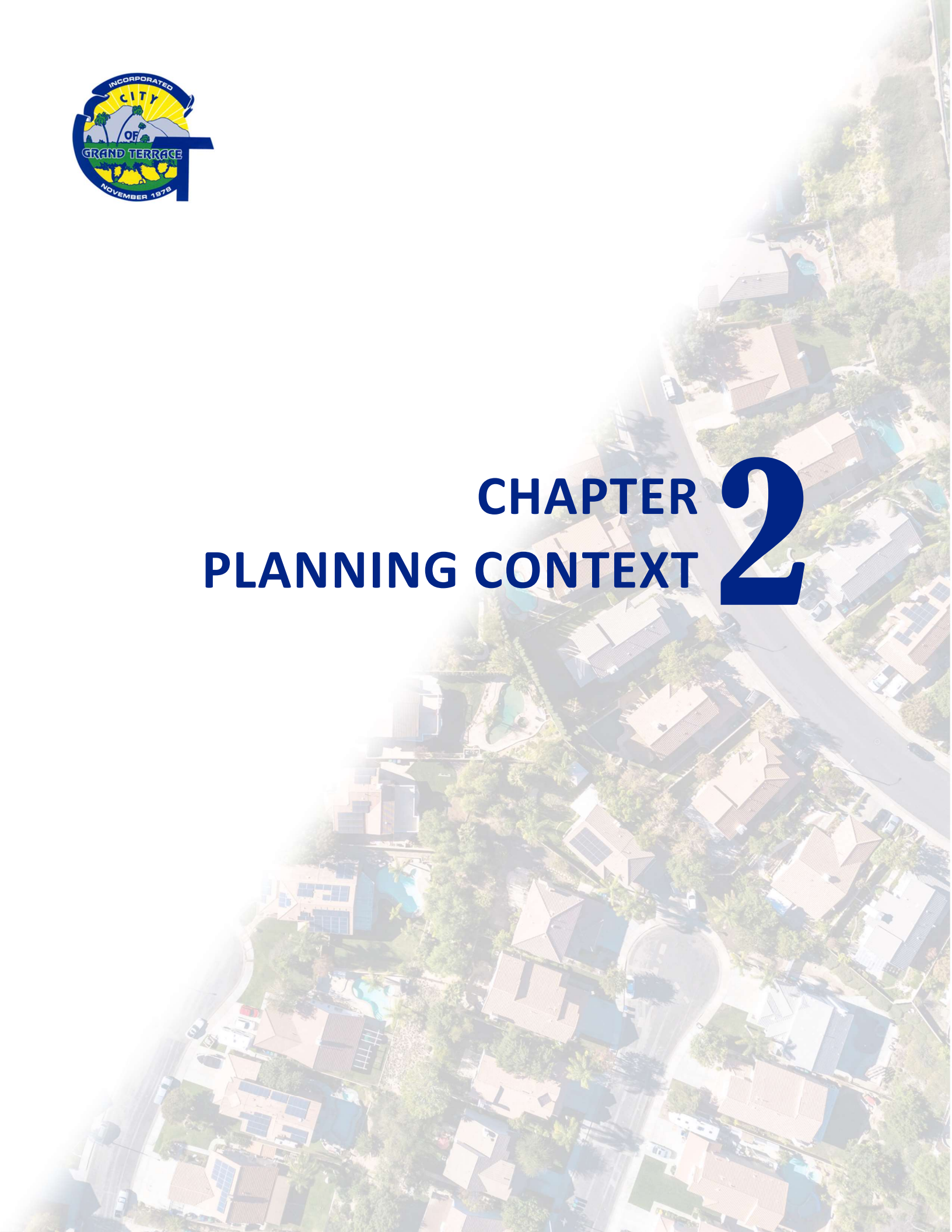
The Program EIR was prepared to address the overall Specific Plan at its complete buildout and its related actions in compliance with CEQA Guidelines §15168. Any future activities which relate to and follow the Specific Plan must be examined in light of the Program EIR to determine if additional environmental analysis is warranted. Later activities which have been adequately analyzed under the Program EIR may not require additional environmental documentation. If an activity may result in additional effects, or new mitigation measures are needed, a subsequent or supplemental EIR, or mitigated negative declaration must be prepared (CEQA Guidelines §15162 and 15163).

All subsequent approvals to develop the property shall be consistent with the Specific Plan and associated environmental documents. Additional environmental documentation will be required in the future if significant changes are found to have occurred pursuant to Sections 15162 and 15182 of the CEQA guidelines.



CHAPTER 2

PLANNING CONTEXT



2.1 Property History

During the early years of Grand Terrace, most of the Specific Plan area was used for orchards. Over the years some land was converted to dry farming or left vacant. For more than two decades, the City has attempted to foster development in the Specific Plan area (also known as the Southwest Commercial area). However, the lack of local and regional drainage facilities and roadway access has hampered development. With the implementation of the Specific Plan, necessary infrastructure will be set in place to enable the area's development.

In 2010, the General Plan was updated to re-designate most of the Specific Plan area to Mixed Use. Approximately 53 acres of the Specific Plan's total acreage was acquired by the Grand Terrace Community Redevelopment Agency (RDA) between 2000 and 2011 with RDA tax increment funds. With the dissolution of redevelopment agencies in 2011, the Successor Agency for the RDA developed a Long-Range Property Management Plan (LRPMP) to control the disposition of its real property assets. Refer to **Figure 2.2-1: Previous Grand Terrace RDA Ownership Area** for location of the 53 acres.

Development within the Specific Plan area will require construction of regional drainage facilities along the western portion of the site, and storm drain facilities within De Berry, Van Buren, and Pico streets. With the recent completion of the I-215 interchange improvements at Barton Road, local streets typically providing area access shall reflect improvements that support and accommodate increased traffic volumes resulting from future development. This will require extension of roadways through the Specific Plan area as well as curb, gutter and storm drain improvements are required.

The land within the Specific Plan area is owned by several property owners including private parties, municipalities and utility providers. Refer to Appendix A for the 2017 ownership list.

2.2 Existing Conditions

The Specific Plan geography is relatively flat and generally slopes from the northeast to southwest with the low point at the end of De Berry Street. Currently the area is primarily vacant and/ or used for storage with interspersed residential uses. A concrete-lined storm channel carries runoff from a storm drain at the western end of De Berry Street, southwest beneath the Gage Canal and into the westward-flowing drainage way that crosses the Specific Plan area from the western end of Van Buren Street. This drainageway drains beneath the I-215 in a concrete-lined channel, continues to the southwest beneath La Cadena Avenue and flows into a debris basin about 0.8 miles off-site.

There is a decommissioned Union Pacific Railroad (UPR) line that traverses the Specific Plan area in a north/south direction that has been acquired by the City and will be used as part of the extension of Commerce Way from its existing terminus point south to the existing Taylor Street, and subsequent widened of the existing Taylor Street portion all the way south to its connection at Main Street. There are three wells owned by the City of Riverside located in the Specific Plan area that will remain but may be modified or relocated.

Figure 2.2-1: Previous Grand Terrace RDA Ownership Area



Legend



Gateway Specific Plan Boundary



Former Grand Terrace RDA Ownership

The existing non-lighted ball field north of Veterans Freedom Park is proposed to be relocated northwest of the Grand Terrace High School sports fields and constructed as a new lighted baseball field with an adjacent public playground. An existing SCE substation located south of the Specific Plan area will remain in addition to the SCE power lines that cross the Specific Plan, north of the substation. Riverside Canal Power Company owns the property where the decommissioned power station was located. Two billboard signs adjacent to the I-215 freeway will remain. There is a total of five occupied and one vacant residential structure with associated accessory structures on De Berry Street and Van Buren Street.

The I-215 borders the Specific Plan area on its northwesterly side. The Burlington Northern Santa Fe (BNSF) railway borders the southwestern side with industrial uses located across the railroad line. To the north are industrial land uses along Commerce Way and north of Rene Lane. To the east are single-family homes, storage facilities, and light manufacturing. To the south is the Grand Terrace High School and to the southeast is the Veterans Freedom Park.

2.3 General Plan

The California Government Code Section 65454 states that a “Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan,” and that “it may not be adopted or amended unless found to be consistent with the General Plan.” The City of Grand Terrace General Plan (Grand Terrace GP) is a document comprised of eight elements and is required by state law to serve as a guide to the long-term physical development of the City. The City’s General Plan currently designates the Specific Plan area as Mixed Use (MU). **Figure 2.3-1: Grand Terrace General Plan Land Use Map** shows the existing General Plan land use designations. The Mixed-Use land use designation allows for multiple uses on a single site that may include residential, commercial, business park, open space and recreation. Compatible uses shall be placed horizontally or vertically on the site. All mixed-use projects are required to submit a Specific Plan or Planned Development to demonstrate compatibility between the proposed uses as well as buffering from adjacent properties.

Although the existing Mixed-Use designation would allow for a variety of uses on a single site as proposed by the Specific Plan, a General Plan Amendment (GPA) is required to accommodate the higher density residential developments. Thus, a GPA is being processed concurrently with this Specific Plan to implement a new General Plan land use designation - The Gateway at Grand Terrace Specific Plan (GSP) and amend the existing land use designation for the entire Specific Plan area. **Figure 2.3-2: Proposed Gateway at Grand Terrace Specific Plan (GSP) Land Use Designation** shows the new General Plan land use designation for the Specific Plan area.

The Gateway at Grand Terrace Specific Plan is based upon the goals and policies set forth in the Grand Terrace GP. Adoption of this Specific Plan as a comprehensive plan for the future development within The Gateway at Grand Terrace area establishes appropriate new land use and zoning designations as well as development standards and guidelines to ensure that development within the Specific Plan will occur in a manner consistent with the guiding policies of the Grand Terrace GP. Specific General Plan goals and policies that this Specific Plan will implement and/or facilitate are provided in Appendix B. Future projects and/or development/land use activities which are found consistent with this Specific Plan will be deemed consistent with the Grand Terrace GP and its adopted elements and policies.

Figure 2.3-1: Grand Terrace General Plan Land Use Map

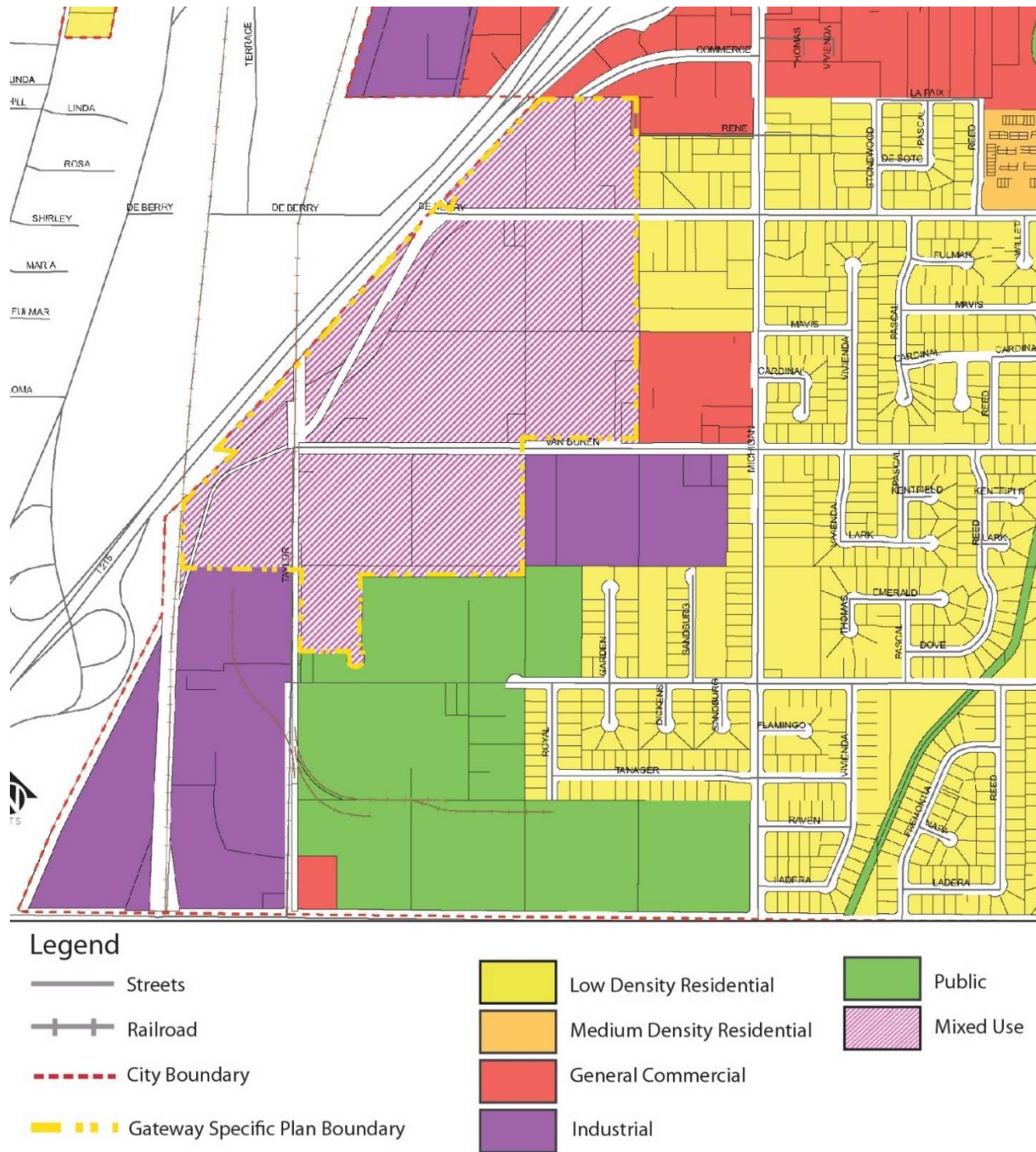
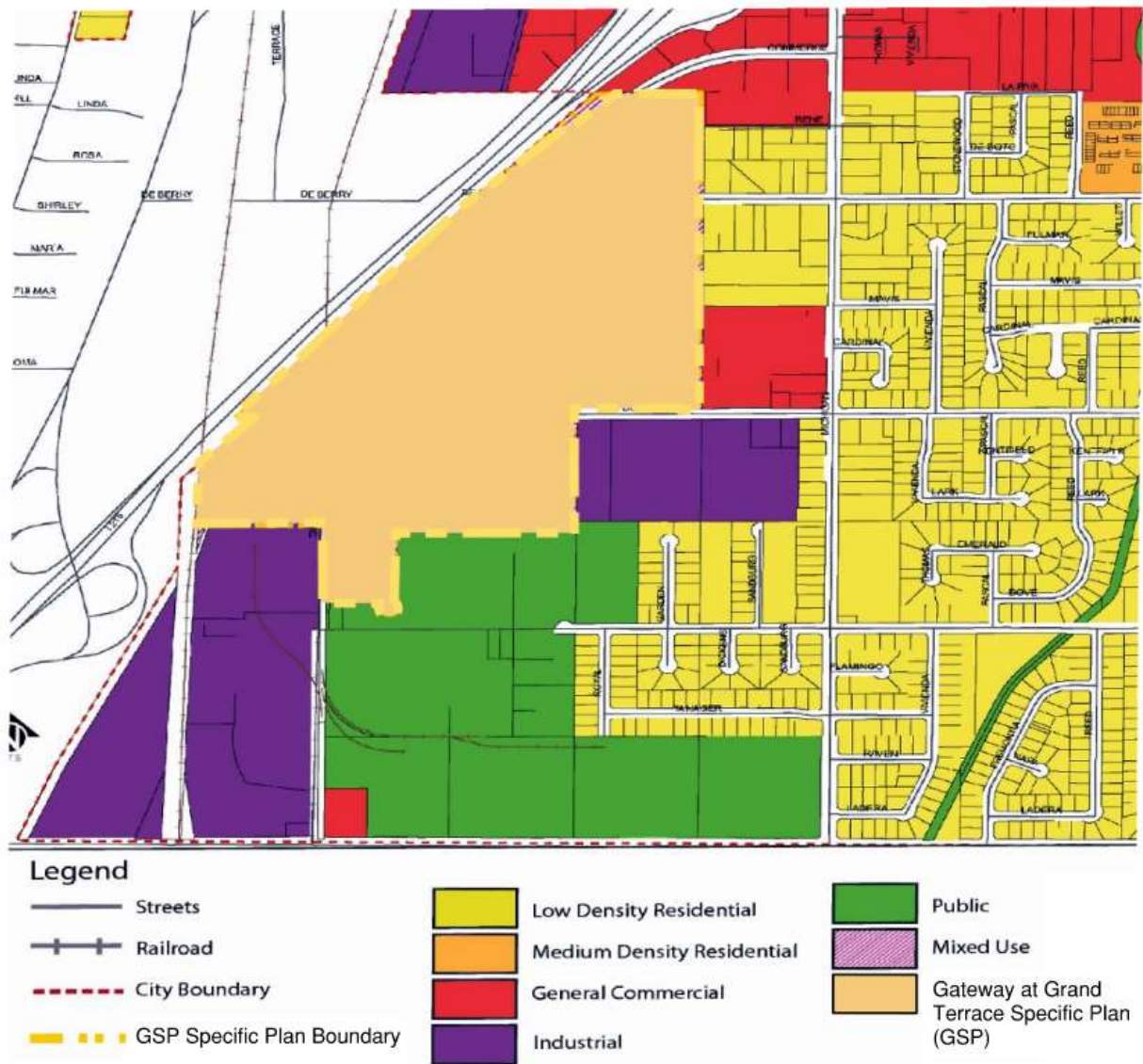


Figure 2.3-2: Proposed Gateway at Grand Terrace Specific Plan (GSP) Land Use Designation



2.4 Zoning

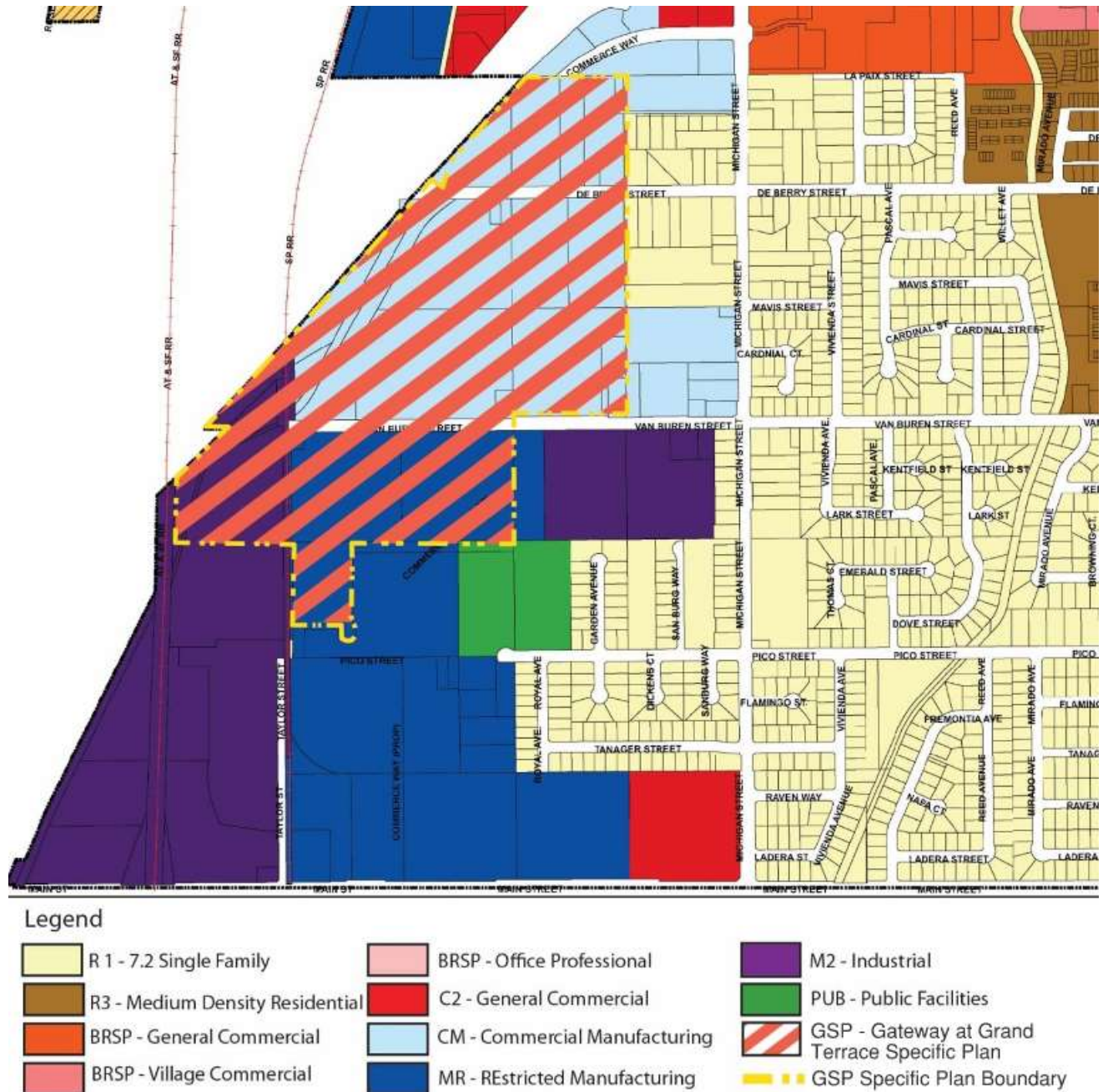
The GTMC sets the City's standards, guidelines, and procedures relating to the development and maintenance of all land uses within the City. The regulations implement the goals and policies of the General Plan while being consistent with the Land Use Plan designations. GTMC Title 18 serves as the City's Zoning Code. The Zoning Code protects the physical, social, and economic stability of City residents, businesses, and their property. It reduces or eliminates hazards to the public; and enhances the City's physical, social, and economic advantages through comprehensive land use and resource planning.

The existing Zoning Map designates the property within the Specific Plan as Commercial Manufacturing (CM), Restricted Manufacturing (MR), and Industrial (M2). With adoption of this Specific Plan, these zones

will be changed to The Gateway at Grand Terrace Specific Plan (GSP) Zone to implement a horizontal mixed-use development of residential and commercial as set forth in this document. Nevertheless, the Specific Plan still works in concert with the GTMC Title 18, but provides additional zoning, development standards, and guidelines that have been tailored to the Project site. While some of the City's existing zoning standards are utilized for certain aspects in the Specific Plan, such as permitted uses and parking, they have also been customized to The Gateway area. The GSP zone allows design flexibility to attain superior quality and excellence in design, sustainability, architecture, and site amenities.

Together, the GSP zone and the GSP land use plan policies, development standards, and design guidelines provide the site-specific requirements for future development within the Specific Plan area. The GSP Zone includes residential development with a wide range of density between 4 to 20 dwelling units per acre (R 4-20), General Commercial (GC) development, Park, Open Space, Drainage Facilities, Utilities, Roads, and R 4-20, GC, and Open Space Overlays. Refer to **Figure 2.4-1: Grand Terrace Zoning Map – Existing and Proposed**.

Figure 2.4-1: Grand Terrace Zoning Map – Existing and Proposed





CHAPTER 3 DEVELOPMENT PLAN

3.1 Land Use Plan Concept Overview

The Gateway at Grand Terrace Specific Plan establishes approximately 112 acres within the Specific Plan area and identifies the types of allowable land uses that are consistent with the City's vision of the development in the General Plan's Mixed Use land use designation. This Specific Plan intends to accommodate land use types that support growth and development of the area.

The Specific Plan provides for improvements and development within approximately 112 acres that include the extension of Commerce Way from the existing terminus point to Taylor Street. As part of the Commerce Way extension, the existing Taylor Street portion will also be improved and widened all the way south to its connection at Main Street. Along the new road extension, the Specific Plan also features a multi-family housing development with active and passive recreational amenities, cluster-type single-family residences, a new lighted baseball field with a public playground, pedestrian and bike trails, a detention basin, and a mix of commercial/retail and restaurant development. The Specific Plan area is comprised of 22 Planning Areas to accommodate for the development of various uses.

The Specific Plan land uses allow for and encourage a mix of commercial, industrial, residential, and public park uses at the gateway to the City of Grand Terrace. The Specific Plan intends to provide a more urban development pattern with a mix of higher density residential and commercial uses in a pedestrian-friendly setting with unique and engaging experiences that offer convenient access to activities, public spaces and services. The Specific Plan acts as the master plan for sewer, water, storm drainage, and traffic facilities and implements these master plans with specific on-site construction of infrastructure as noted. Public services are also discussed in this Chapter.

Planning Areas and Land Uses

There are 22 Planning Areas within The Gateway at Grand Terrace Specific Plan. The Planning Area boundaries are formed and delineated by property ownership, land use types, and physical characteristics, such as roads and detention basin. Each of the existing parcels has been assigned a Planning Area number and a designated use with maximum density and intensity. Each Planning Area shall be designed and developed in a comprehensive manner, consistent with the development standards and design guidelines outlined in Chapter 4 of this Specific Plan. **Figure 3.1-1: The Gateway at Grand Terrace Specific Plan – Planning Areas** provides an overview of all 22 Specific Plan Planning Areas while **Figure 3.1-2: The Gateway at Grand Terrace Specific Plan Land Use** Plan visualizes land uses within the Specific Plan. Additionally, the Planning Areas are correlated with the property ownership in Appendix A of this document. It is anticipated that as development occurs, some of these parcels may be consolidated and parcel boundaries may be redefined.

Figure 3.1-1: The Gateway at Grand Terrace Specific Plan – Planning Areas

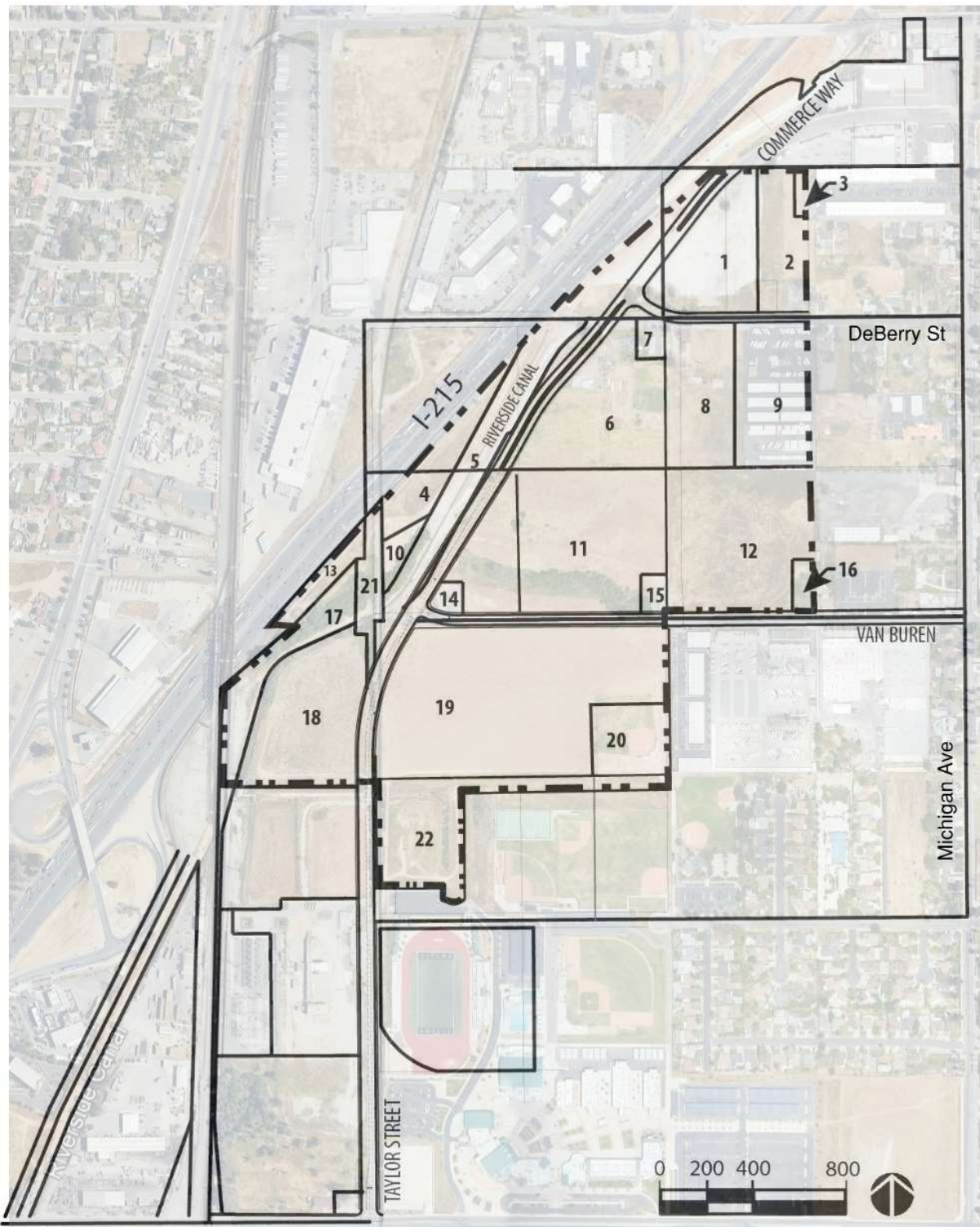



Figure 3.1-2: The Gateway at Grand Terrace Specific Plan Land Use Plan

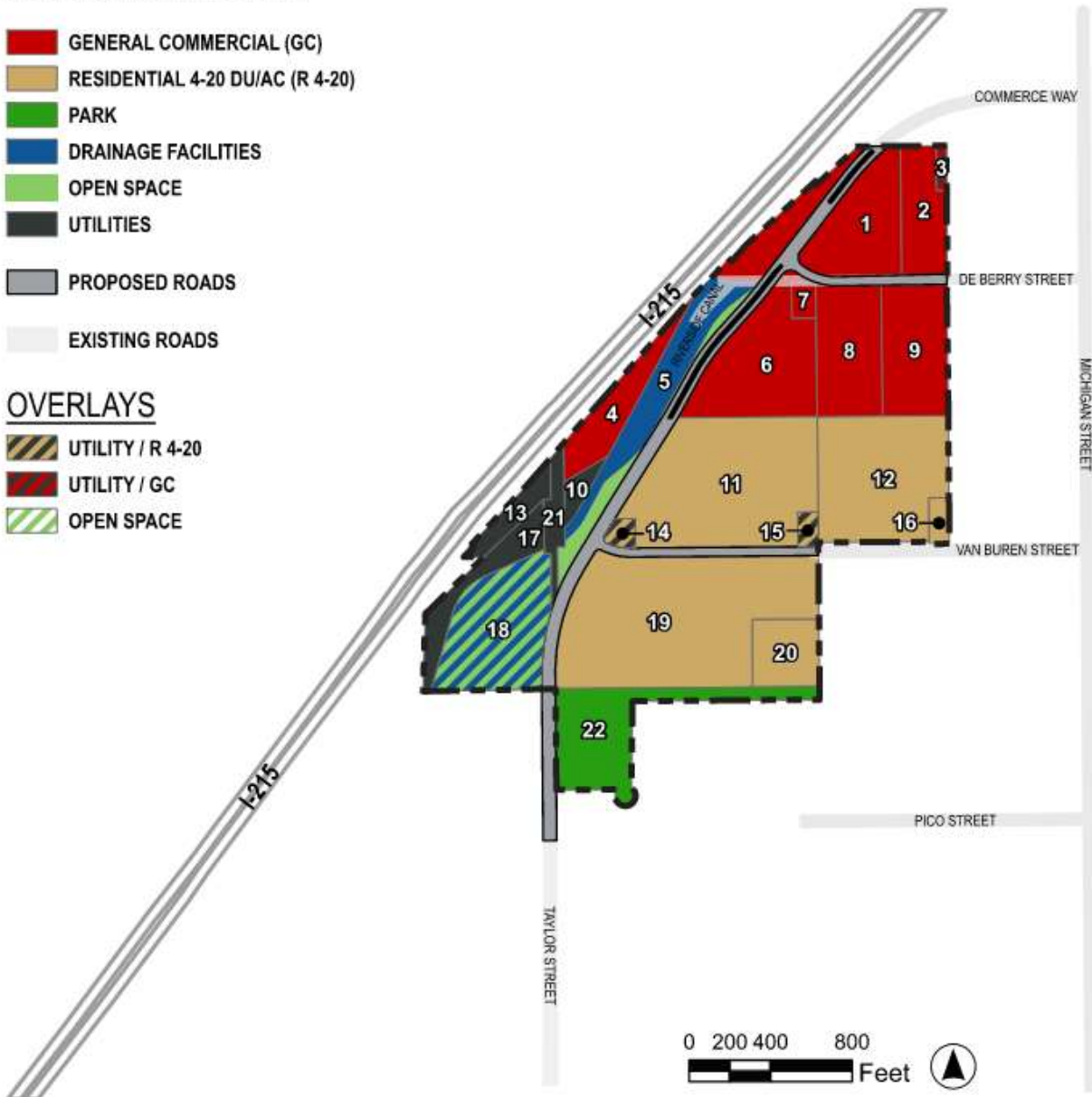
LEGEND

 SPECIFIC PLAN BOUNDARY

-  GENERAL COMMERCIAL (GC)
-  RESIDENTIAL 4-20 DU/AC (R 4-20)
-  PARK
-  DRAINAGE FACILITIES
-  OPEN SPACE
-  UTILITIES
-  PROPOSED ROADS
-  EXISTING ROADS

OVERLAYS

-  UTILITY / R 4-20
-  UTILITY / GC
-  OPEN SPACE



Gateway at Grand Terrace Specific Plan Land Use Plan Overview

Planning Areas 11, 12, 14, 15 16, 19, and 20 - Residential (R 4-20):

Residential land use, located in Planning Areas 11, 12, 14 through 16, 19, and 20, encompasses approximately 43 acres of the Specific Plan. Residential use in this area will account for nearly 39 percent of the total land uses in the Specific Plan and allow up to a maximum of 786 dwelling units. However, when considered the development standards, site constraints, roads, and infrastructure, the potential number of dwelling units to be developed is projected to be approximately 695 dwelling units, which would be below the maximum allowable number of 786 dwelling units. Thus, the total dwelling units of 695 is the projected maximum net number of dwelling units set forth in this Specific Plan.

Residential land use intends to accommodate a multitude of product types and styles that appeal to a range of various market segments, from first-time homebuyers, to families, and to seniors; as well as, to allow a variety of lot configurations for detached and attached products. Developments within the Residential portion will comprise of a variety of residential product types, which may include small-lot development, attached or detached cluster-type or motor court residential development, town homes, duplexes, and/or multi-level apartments, and internal street patterns with the overall maximum density of 20 dwelling units per acre (du/ac).

The residential land use area of the Specific Plan intends to provide a variety of high quality and aesthetically pleasing housing choices as well as various housing product types within the density range of 4 – 20 dwelling units per acre. The intent is to allow the flexibility to offer a range of housing types, as determined by market conditions at the time of development, that appeal to a range of market segments within the Specific Plan area. Market-driven housing products within the assigned density range includes, but does not limit to, duplexes, stacked flats, townhomes, detached fee-simple small-lot homes, attached or detached cluster or motor court home, and multi-family apartments.

Examples of a Variety of Housing Product Types:

Example of Duplex Homes



Duplex homes:

- ▶ Include structures in which two housing units share a common central wall.
- ▶ Can be attached or semi-detached.
- ▶ Include front or side courtyards and entries along shared paseos.
- ▶ When preferred, can be designed to limit garage door dominance on street scene by loading garages off of alleys.
- ▶ Provide visitor parking throughout the development.

Example of Stacked Flats



Stacked flats:

- ▶ Provide the highest density building type.
- ▶ Create articulation in street scene through front elevation offsets.
- ▶ Allow opportunities for smaller units.
- ▶ When preferred, can be designed to limit garage door dominance on street scene by loading garages off of alleys.
- ▶ Provide visitor parking throughout the development.

Example of Townhomes



Townhomes:

- ▶ Promote neighbor interaction and eyes-on-the-street by orienting residential entries around shared paseos.
- ▶ Provide massing offsets to add architectural interest.
- ▶ When preferred, can be designed to limit garage door dominance on street scene by loading garages off of alleys.
- ▶ Provide visitor parking throughout the development.

Example of Small-Lot Single-Family



Small-Lot Single-Family Homes:

- ▶ Include single-family detached homes on smaller lots.
- ▶ Have a street or alley fronting orientation.
- ▶ Have enhanced connections with streets, paths, and pedestrian amenities.
- ▶ Will have private driveways.
- ▶ Will have guest parking.

Example of Cluster Homes



Cluster homes:

- ▶ Promote integrated site design.
- ▶ Encourage costs savings through design and siting.
- ▶ Encourage efficient use of mobility options and pedestrian utilization.
- ▶ May be front loaded or accessed by common alleys.
- ▶ Will have guest parking.

Example of Motor Court Homes



Motor Court homes:

- ▶ Promote integrated site design.
- ▶ Encourage costs savings through design and siting.
- ▶ Encourage efficient use of mobility options and pedestrian utilization.
- ▶ Provide a shared driveway which connects to separate private garages and have front doors and garages facing a common stub street or driveway.
- ▶ May include attached or detached dwelling units.
- ▶ Provide visitor parking throughout the development

Example of Multi-Family Apartments



Multi-Family Apartments:

- ▶ Share common wall(s) with other units.
- ▶ Consist of a single building or clusters of smaller building containing multiple residential dwellings.
- ▶ Include communal facilities and amenities which are accessible to residents.
- ▶ May contain a variety of bedrooms from studio to 3+ bedrooms.
- ▶ Provide visitor parking throughout the development

Planning Areas 1, 2, 3, 4, 6, 7, 8, and 9 - General Commercial:

The General Commercial (GC) land use designation allows for the development of general commercial not limited to, retail, personal service, entertainment, office, and restaurants in Planning Areas 1 through 3 and 6 through 9. Planning Area 4 currently contains existing billboards, will continue to be utilized in the same manner and not be developed. The commercial uses in GC will serve as an enhanced continuation of the Barton Road Specific Plan and the I-215 commercial corridor.

The developable acreage in the commercial portion of the Specific Plan is approximately 25 acres and could be developed with up to 455,049.50 square feet of commercial uses. However, when considering the development standards, site constraints, roads, and infrastructure, the potential maximum square-footage that could be developed is approximately 335,700 square-feet.

Planning Areas 5, 10, 13 17, 18, and 21 - Drainage Facilities, Utilities, and Public Streets:

Drainage facilities are located in Planning Areas 5 and 18. Utilities are located in Planning Areas 10, 13, 17, and 21. Public streets include the new Commerce Way, Van Buren, and De Berry. Drainage facilities,

utilities, and public streets will be maintained by the City of Grand Terrace and/or other municipal agencies, special districts, or purveyors.

Planning Areas 18 and 22 - Open Space and Public Park:

The Park and Open Space designations apply to parcels Planning Areas 18 and 22 as well as the narrow strip of pedestrian and bicycle trail that provides connectivity between Planning Area 22 development and the existing Veterans Freedom Park. Planning Area 22, owned and operated by the City of Grand Terrace, will include a lighted baseball field with a tot-lot/playground within a tree-lined and “park-like” setting. Public Park Facilities can be joint use, providing for use by the School District, and the City of Grand Terrace.

Planning Area 18 will primarily serve as a detention basin for the entire Specific Plan as part of the overall drainage facilities. It will also have an open space overlay which will not permit any building or structure to be constructed in the area. Due to its primary use as a detention basin, PA 18 will not have public access.

A summary of each development and the distribution of land uses within the Specific Plan are provided below in **Table 3.1-1: Statistical Summary by Planning Area** and **Table 3.1-2: Land Use Percentages**. In addition, the development capacity in Residential and General Commercial areas are summarized in **Table 3.1-3: Projected Maximum Net Development for Residential and Commercial Uses**.

Planning Area	Land Use Designation	Gross Acres	Dev. Acres	Probable Density (Max FAR)	Max Dev. SF per Dev. Acre	Max Residential Density du/ac	Max Assigned DUs
1	General Commercial	9.18	6.4	0.35	97,574.4		
2	General Commercial	3.05	3	0.35	45,738	-	-
3	Utilities with General Commercial Overlay	3.3	0.09	0.35	1,372.14	-	-
4	General Commercial (Billboards)	2.83	0	N/A	0	-	-
5	Drainage Facilities	4.36	0.03	N/A	-	-	-
6	General Commercial	8.4	6.42	0.35	97,879.32	-	-
7	General Commercial	0.4	0.4	0.35	6,098.4	-	-
8	General Commercial	4.6	3.68	0.35	56,105.28	-	-

Table 3.1-1: Statistical Summary by Planning Area							
Planning Area	Land Use Designation	Gross Acres	Dev. Acres	Probable Density (Max FAR)	Max Dev. SF per Dev. Acre	Max Residential Density du/ac	Max Assigned DUs
9	General Commercial	4.6	4.6	0.75	150,282	-	-
10	Utilities	0.62	0	N/A	-	-	-
11	Residential	14.55	12.38	N/A	-	20 du/ac	248 DUs
12	Residential	8.64	7.7	N/A	-	20 du/ac	154 DUs
13	Utilities	1.26	0	N/A	-	-	-
14	Utilities with Residential Overlay	0.58	0.4	N/A	-	20 du/ac	8 DUs
15	Utilities with Residential Overlay	0.37	0.37	N/A	-	20 du/ac	7 DUs
16	Residential	0.52	0.52	N/A	-	20 du/ac	10 DUs
17	Utilities	2.51	0	N/A	-	-	-
18	Drainage Facilities	9.24	1.07	N/A	-	-	-
19	Residential	16.05	15.46	N/A	-	20 du/ac	309 DUs
20	Residential	2.51	2.5	N/A	-	20du/ac	50 DUs
21	Utilities	2.38	0	N/A	-	-	-
22	Park	4.97	4.97	N/A	-	-	-
Open Space		1.90		N/A			
Van Buren Street		1.94	-	N/A	-	-	-
De Berry Street		1.95	-	N/A	-	-	-
Taylor Street		1.19	-	N/A	-	-	-
Total Area		111.90	69.99		455,049.5	-	786

Table 3.1-2: Land Use Percentages below provides a summary of the distribution of land uses within the Grand Terrace Specific Plan.

Table 3.1-2: Land Use Percentages
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Land Use	Gross AC	Max Dev SF	Max Assigned DU	%
Residential	43.22	-	786	38.6%
Commercial	36.36	455,059.5	-	32.5%
Park	4.97	-	-	4.4%
Riverside Canal and Open Space	4.36	-	-	3.9%
Drainage Facilities	11.15	-	-	10%
Utilities	6.77	-	-	6.1%
Roads	5.08	-	-	4.5%
Total	111.9	455,059.5	786	100%

Table 3.1-3: Projected Maximum Net Development for Residential and Commercial Uses below provides a summary of the maximum allowable development and the maximum net development for residential and commercial uses.

Table 3.1-3: Projected Maximum Net Development for Residential and Commercial Uses						
Planning Area	Land Use Designation	Gross Acres	Dev. Acres	Max Dev. SF	Max Assigned DUs	Projected Max Net Development
RESIDENTIAL DEVELOPMENT						
11	Residential	14.55	12.38	-	248	695 DUs
12	Residential	8.64	7.7	-	154	
14	Utilities with Residential Overlay	0.58	0.4	-	8	
15	Utilities with Residential Overlay	0.37	0.37	-	7	
16	Residential	0.52	0.52	-	10	
19	Residential	16.05	15.46	-	309	
20	Residential	2.51	2.5	-	50	
Total Area		43.22	39.33	-	786	695 DUs
COMMERCIAL DEVELOPMENT						
1	General Commercial	9.18	6.4	97,574.4	-	243,800 SF
2	General Commercial	3.05	3	45,738	-	
3	Utilities with General Commercial Overlay	3.3	0.09	1,372.14	-	
6	General Commercial	8.4	6.42	97,879.32	-	
7	General Commercial	0.4	0.4	6,098.4	-	
8	General Commercial	4.6	3.68	56,105.28	-	

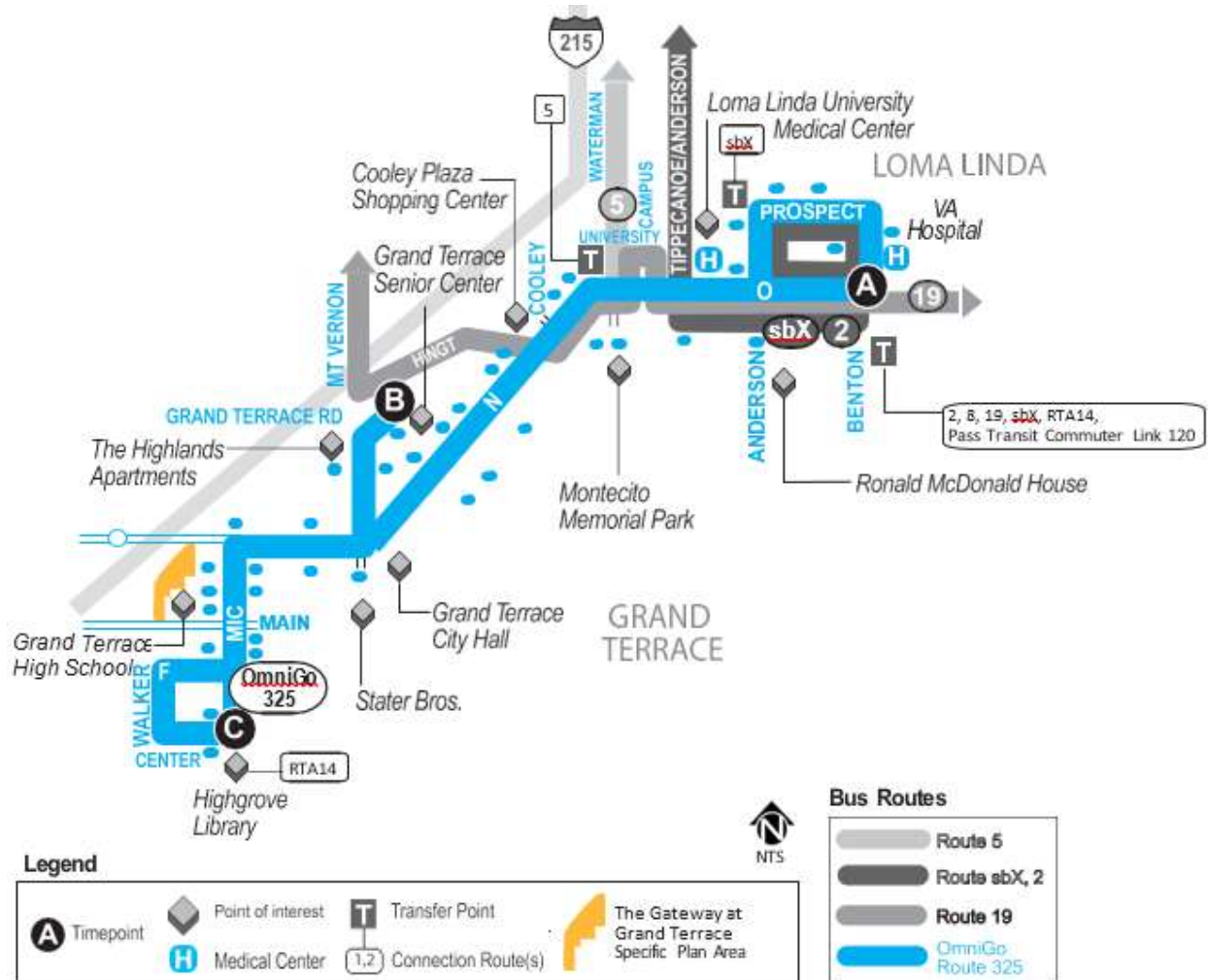
Table 3.1-3: Projected Maximum Net Development for Residential and Commercial Uses						
Planning Area	Land Use Designation	Gross Acres	Dev. Acres	Max Dev. SF	Max Assigned DUs	Projected Max Net Development
9	General Commercial	4.6	4.6	150,282	-	91,900 SF
4	General Commercial (Billboards)	2.83	0	0	-	0
Total Area		36.36	24.59	455,049.5	-	335,700 SF

3.2 Mobility and Circulation Plan Overview

3.2.1 Regional Transport Services

OmniTrans operates public bus services throughout the San Bernardino urban area and contracts with Riverside Transit Agency (RTA) to provide service within Grand Terrace. RTA operates Route 14, which runs through the City along Michigan Street and Barton Road. Route 14 has two stops approximately one-quarter of a mile east of the Specific Plan at Michigan Street and Van Buren Street and at Michigan Street and DeBerry Street. This route connects Grand Terrace to downtown Riverside, Loma Linda University and the Jerry Pettis Veteran's Hospital in Loma Linda. Bus service is also provided through a dial-a-ride service. The closest Metrolink stations are located in the cities of San Bernardino and Riverside. Refer to **Figure 3.2-1: Transit Plan**.

Figure 3.2-1: Transit Plan



I-215 Barton Road Interchange Project

The I-215 Barton Road Interchange improvement project, located outside the Specific Plan area, started in the Fall of 2017 and concluded in 2021. The Interchange project was fully funded from State and Federal Highway funds. A key traffic feature is the round-about on the west end of Barton Road for southbound traffic exiting and merging onto I-215. In addition, the bridge was also expanded to four lanes. Michigan Street ended in a cul-de-sac and Commerce Way was improved and extended from Michigan Street to the intersection of Barton Road and Vivienda Avenue. Refer to **Figure 3.2-2: Barton Road I-215 Interchange Project Plan**.

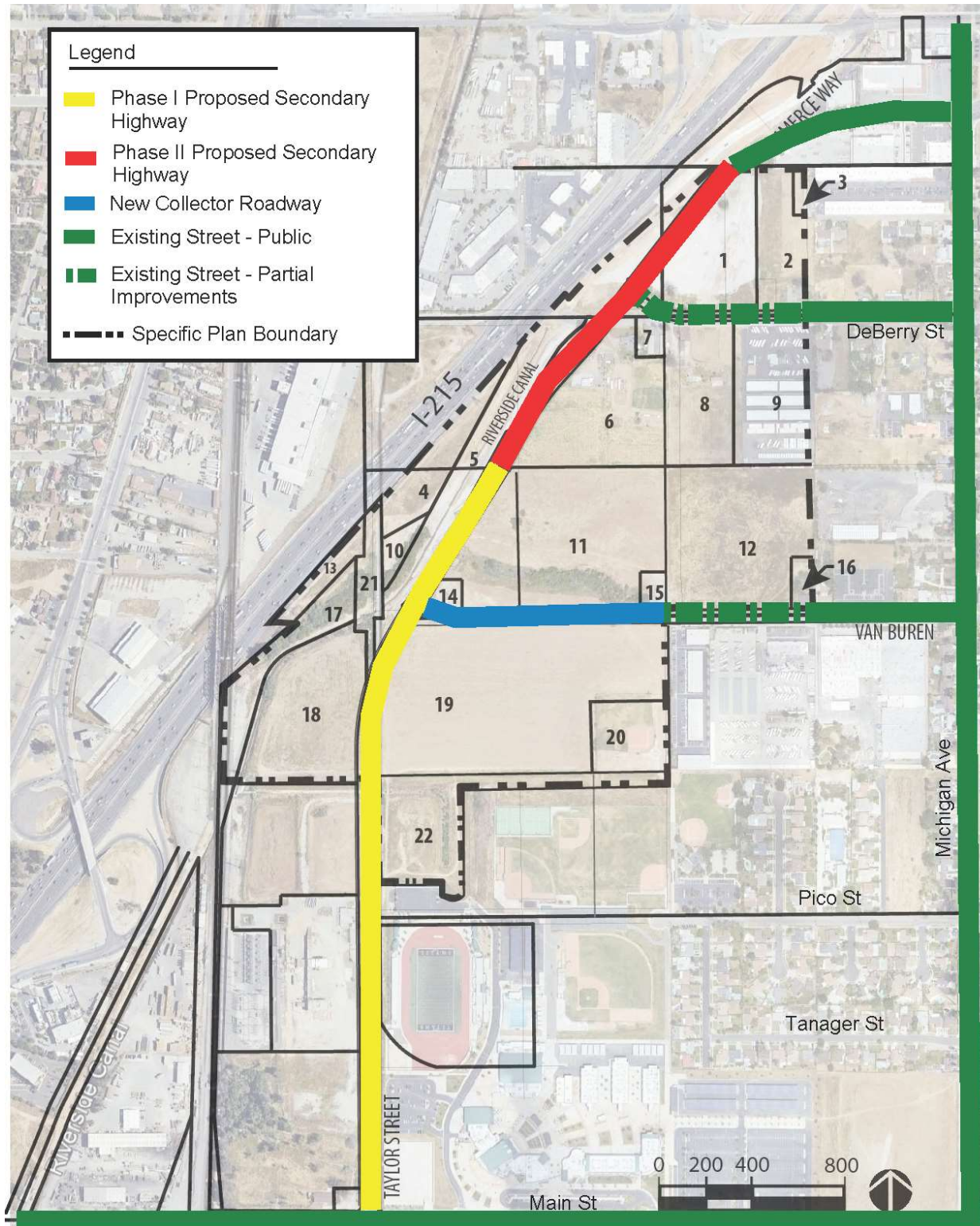
Figure 3.2-2: Barton Road I-215 Interchange Project Plan



Specific Plan Circulation

The circulation plan for the Specific Plan improves local circulation and provides for new development. As part of the Specific Plan, Commerce Way will be extended south from the existing terminus point to Taylor Street. As part of the Commerce Way extension, the existing Taylor Street portion will also be improved and widened all the way south to its connection at Main Street. The Plan reinforces a pedestrian-friendly environment that includes new Class II on-street bike lanes, sidewalks and streets connecting the commercial area with the residential neighborhoods, parks, and schools. Refer to **Figure 3.2-3: Conceptual Circulation Plan** for the location of these streets. Additionally, public, or private streets and alleys will provide circulation within the residential communities. The alignment of these internal streets and alleys will be established as part of the tentative map approval.

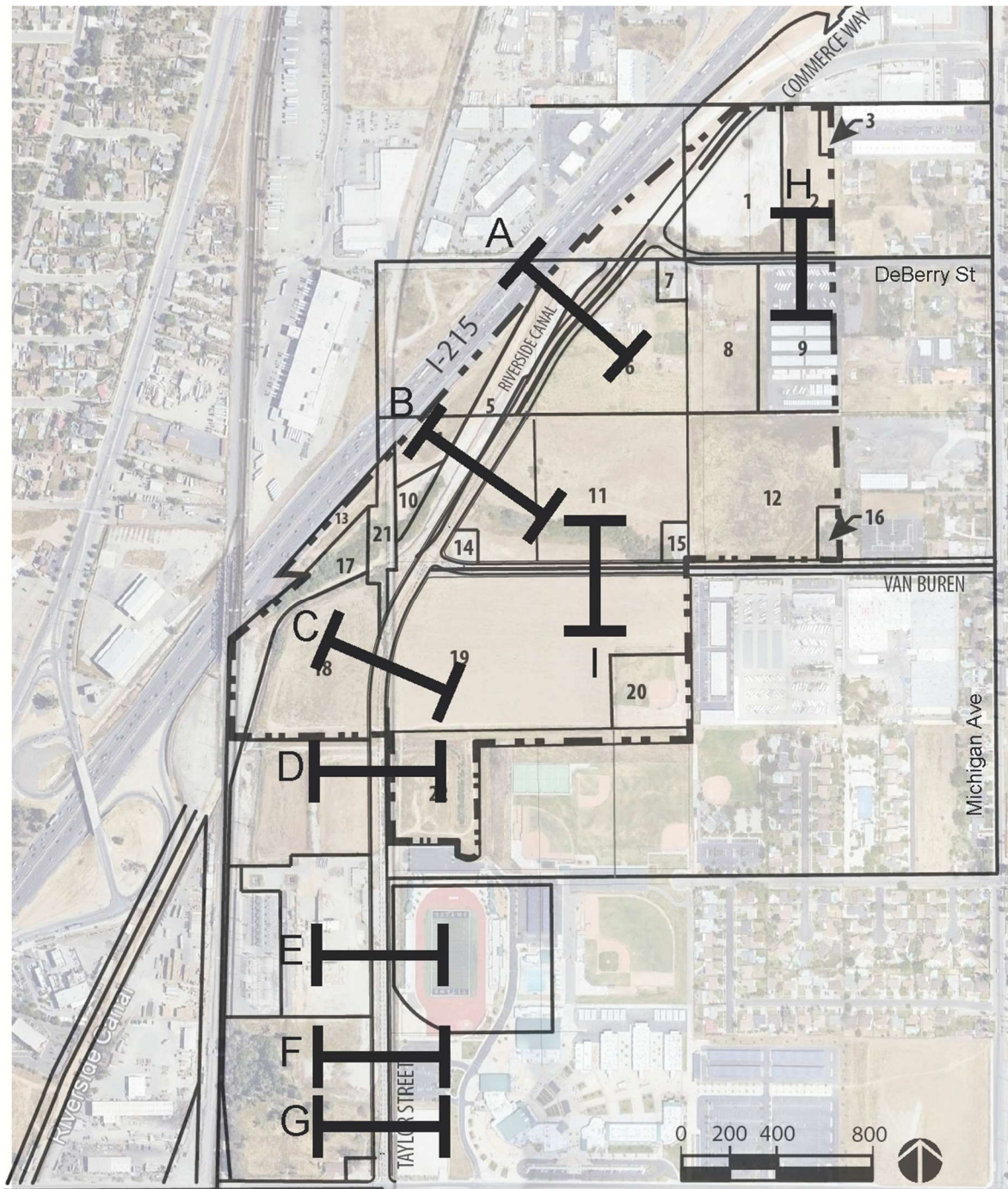
Figure 3.2-3: Conceptual Circulation Plan



Circulation Cross Sections

A variety of street cross sections are included in the plan area to serve the various land uses and create a visually appealing and functional roadway system for vehicle and pedestrian uses. **Figure 3.2-4: Street Cross Section Key Plan** describes the location of various street cross sections in the plan area.

Figure 3.2-4: Street Cross Section Key Plan

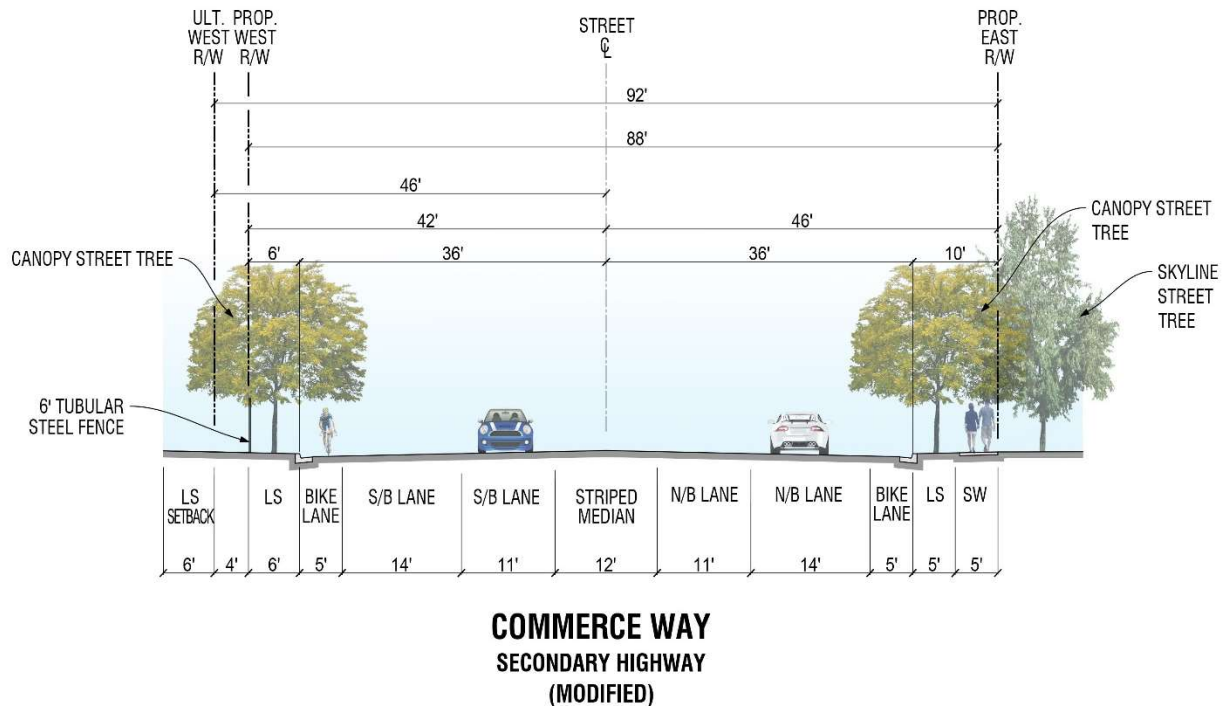


A. Commerce Way

As part of the Specific Plan, Commerce Way will be extended south from the existing terminus point to Taylor Street. As part of the Commerce Way extension, the existing Taylor Street portion will also be improved and widened all the way south to its connection at Main Street. Commerce Way will be the main entry to the Specific Plan area, as well as leading into the City of Grand Terrace. Small, landscaped medians and entry monumentation will be located at Main Street and Commerce Way providing a sense of arrival into the City and the Specific Plan area. Along Commerce Way, the western sidewalk will be eliminated between De Berry Street and Van Buren Street. A sidewalk will exist on the east side of the street.

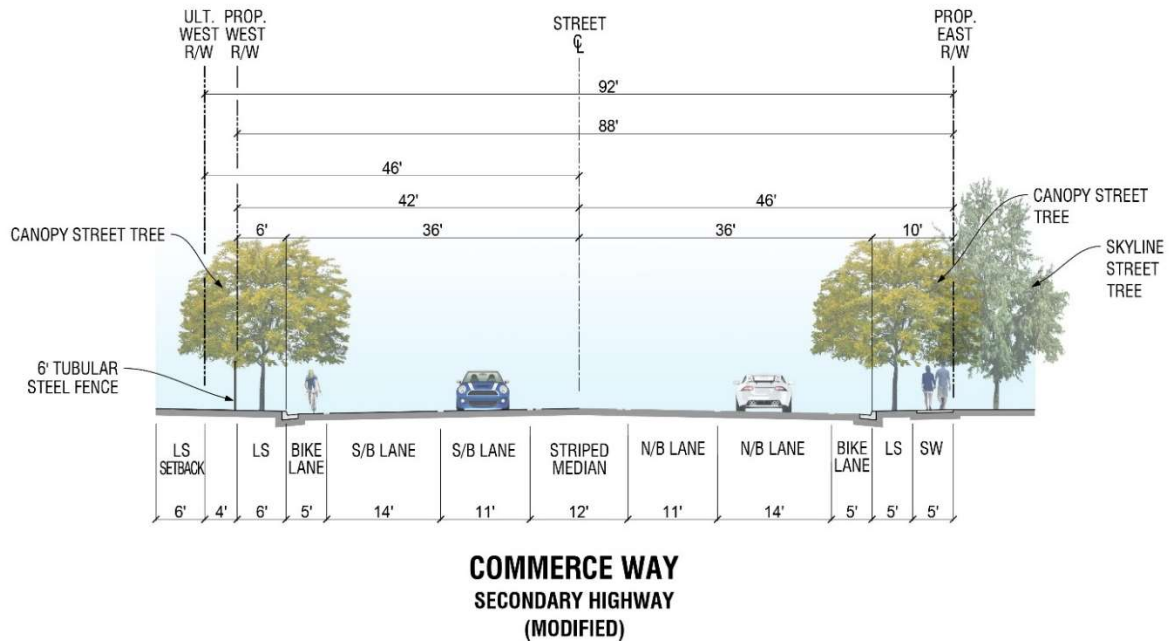
Commerce Way will be a secondary highway that runs northeast near the I-215. Commerce Way will include a striped median, Class II on-street bike lanes with landscaped parkways and sidewalks. Additional landscaped setbacks will be provided. By providing another entry into the City, this new roadway will alleviate traffic from Michigan Street and allow commercial vehicles to travel on a new, wider, four-lane road, constructed to accommodate increased commercial and passenger vehicles. **Figure 3.2-5 Commerce Way Cross Section A*** through **Figure 3.2-11: Commerce Way Cross Section G*** display cross sections of planned roadway characteristics along Commerce Way. The cross section locations are identified **Figure 3.2-4: Street Cross Section Key Plan** above.

Figure 3.2-5 Commerce Way Cross Section A*



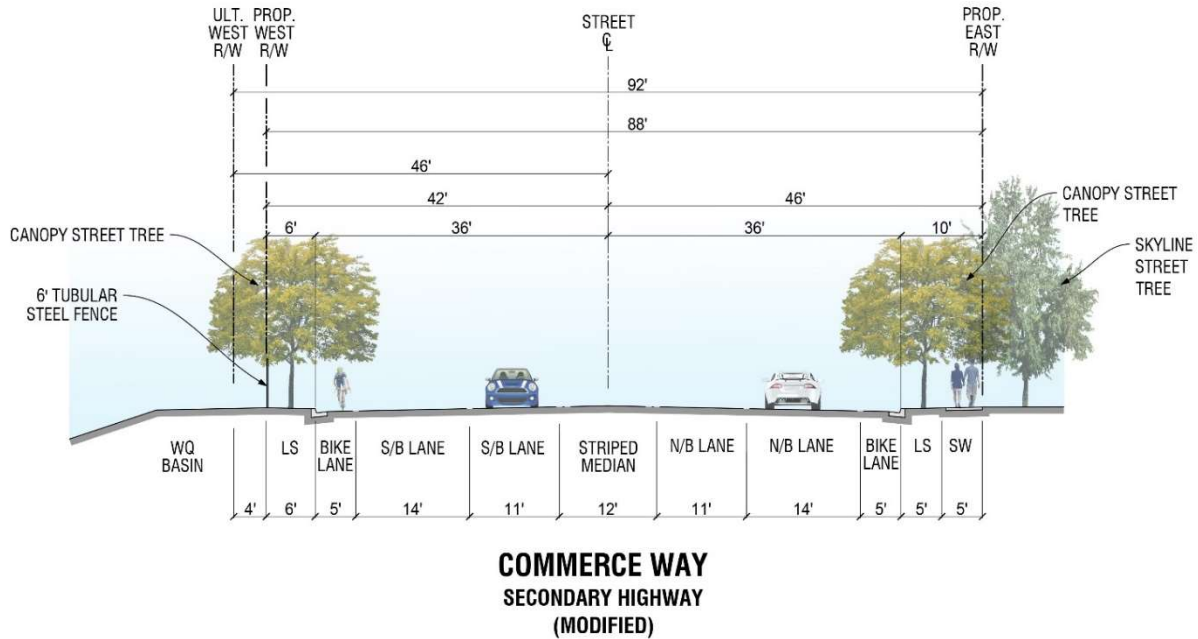
**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

Figure 3.2-6: Commerce Way Cross Section B*



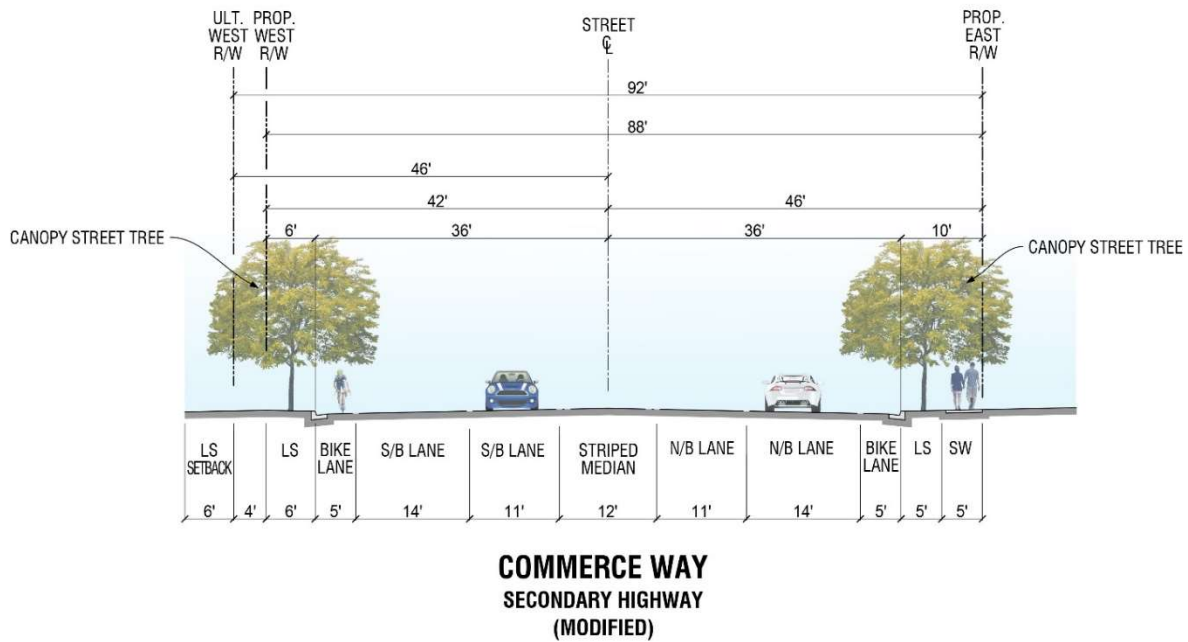
**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

Figure 3.2-7: Commerce Way Cross Section C*



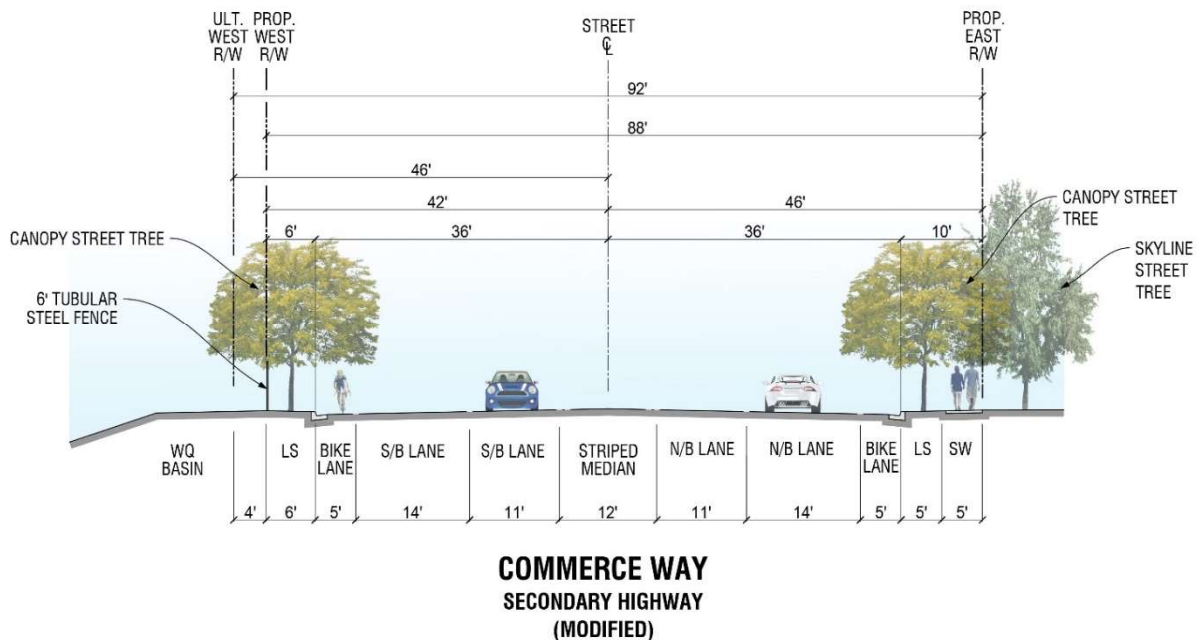
**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

Figure 3.2-8: Commerce Way Cross Section D*



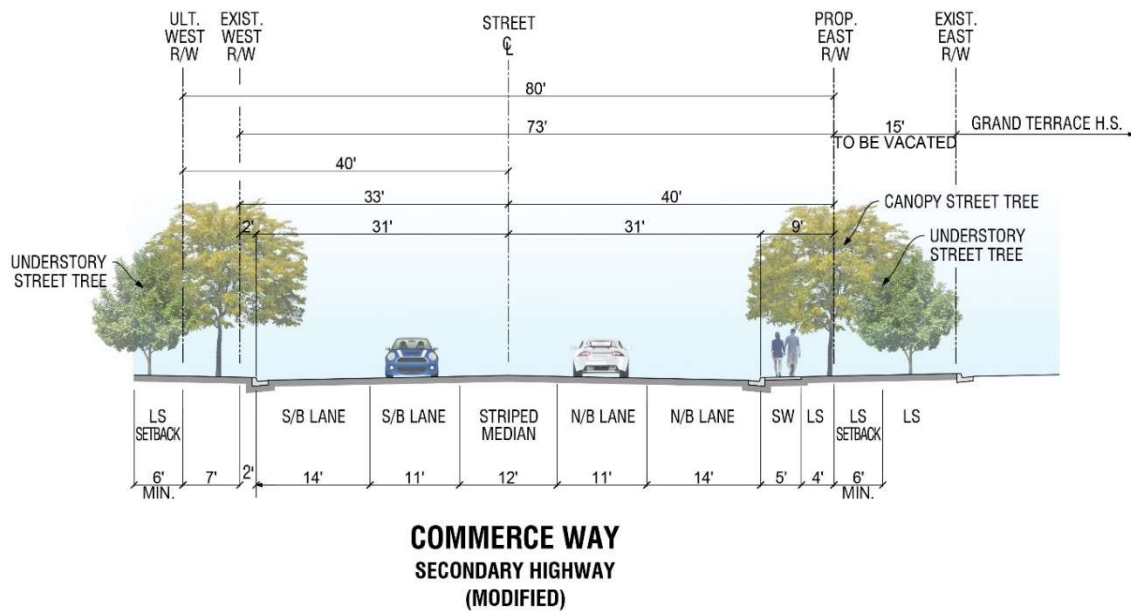
**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

Figure 3.2-9: Commerce Way Cross Section E*



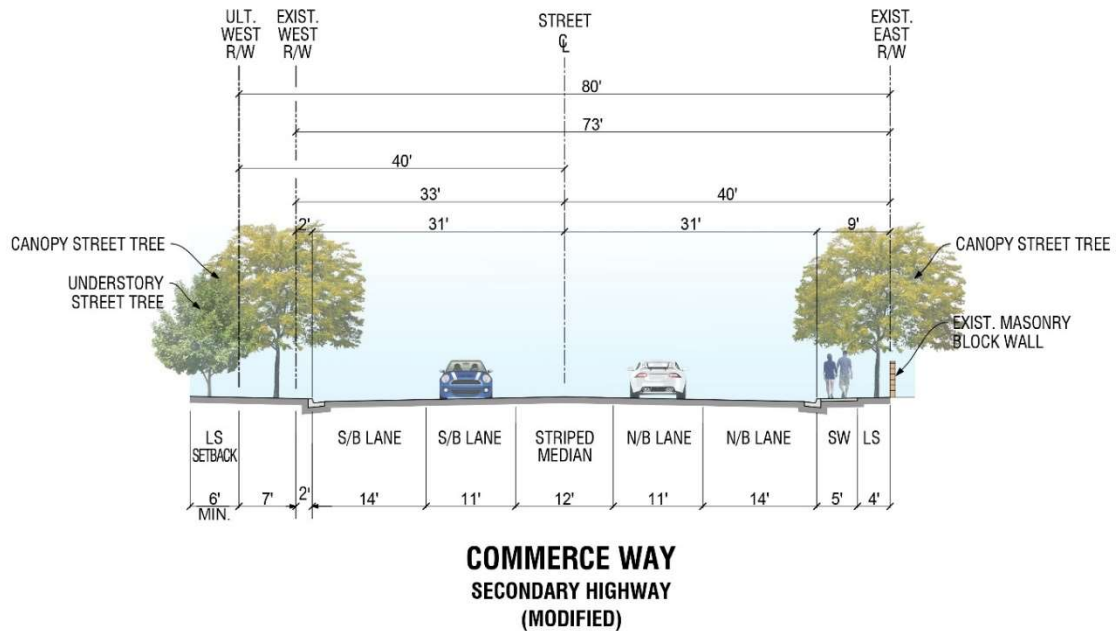
**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

Figure 3.2-10: Commerce Way Cross Section F*



**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

Figure 3.2-11: Commerce Way Cross Section G*



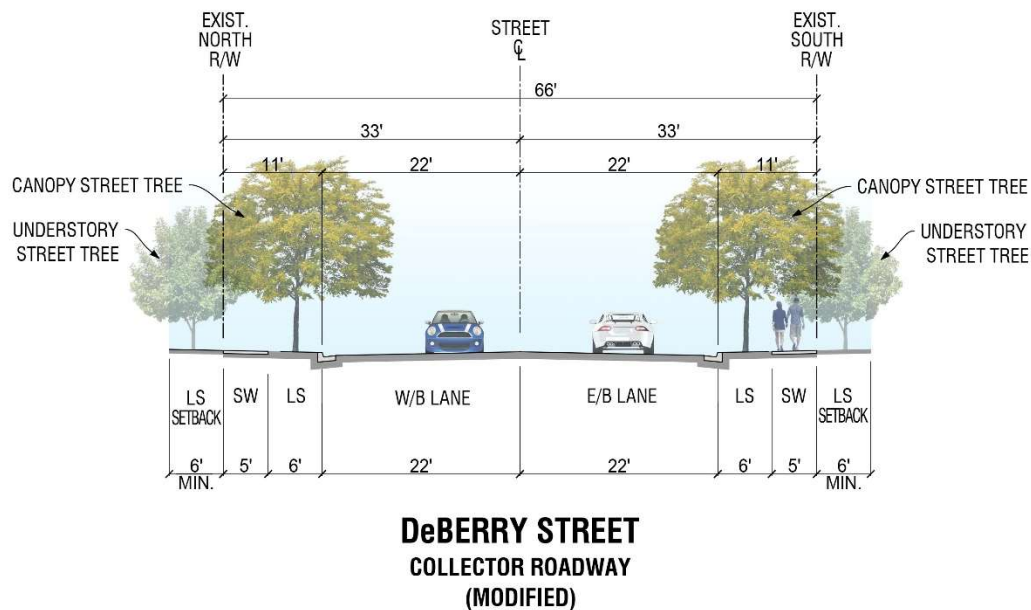
**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

B. Collector Streets

De Berry Street

De Berry Street is 66-foot-wide collector street. There is no dedication needed and curbs exist in various locations. Within the Specific Plan area, the street will be improved with curb, gutter, and sidewalk except at Planning Area 9. If necessary, portions of De Berry Street within the Specific Plan area may be vacated, and the land distributed as appropriate. **Figure 3.2-12: De Berry Street Cross Section H*** displays a cross section of planned roadway characteristics along De Berry Street.

Figure 3.2-12: De Berry Street Cross Section H*

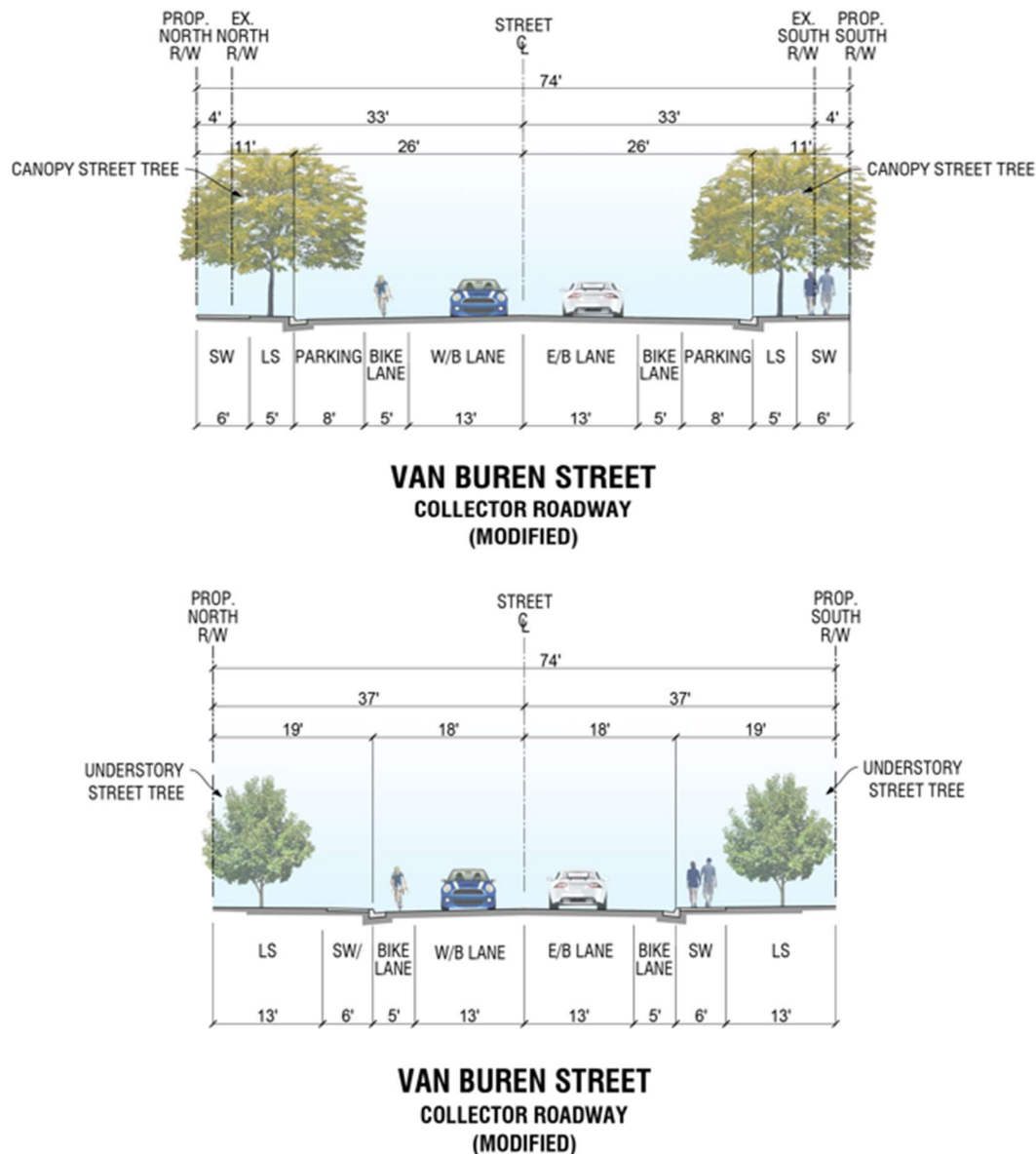


**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

Van Buren Street

Van Buren Street is also a 66-foot-wide collector street. There is no dedication required (some properties have a wider right-of-way than required). The south side of the street has a curb and sidewalk, and the north side lacks a curb, gutter and sidewalk within the Specific Plan area. Van Buren Street will be extended and improved from its current terminus to the west to the extension of Commerce Way. Utility easements will be created within the right-of-way to preserve existing and locate new infrastructure. **Figure 3.2-13: Collector Streets Cross Sections I and J*** displays a cross section of planned roadway characteristics along Van Buren Boulevard.

Figure 3.2-13: Collector Streets Cross Sections I and J*



**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

3.3 Storm Drainage Plan

The Specific Plan area is traversed by three major drainage courses that originate at the base of Blue Mountain at De Berry Street, Van Buren Street, and Pico Street. The northern drainage course enters the area at the westerly end of De Berry Street. It then travels in a southwesterly direction and enters the San Bernardino County Flood Control District (SBCFCD) channel that eventually directs flows off-site under I-215. The second drainage course enters the Specific Plan area on the north side of Van Buren Street near the easterly edge of Planning Area 11. These storm water flows travel west and join the SBCFCD channel

at the western edge of the Specific Plan area. A portion of this drainage course has been identified as a possible wetlands area. The third drainage course enters the Specific Plan area along the northern portion of the existing Grand Terrace High School near the southeasterly edge of Planning Area 20. The westerly terminus of Pico Street overflows with storm water during large storm events and the storm water travels through the existing school site towards Taylor Street and ultimately joins the Gage Canal at the western edge of the Specific Plan area.

The off-site tributary area consists of a watershed of approximately 32,320 acres including the majority of the City of Grand Terrace. All flows are directed to the low point within the Specific Plan area. Ultimately, drainage from the Specific Plan flows to the Santa Ana River.

Drainage improvements will be constructed in phases through the Specific Plan. Phases 1 and 2 are described in detail below. **Figure 3.3-1: Conceptual Storm Drain Plan** shows the existing and proposed drainage facilities.

Phase 1:

One large regional detention basin with approximately 65-acre-feet of capacity will be constructed west of Taylor Street to provide regional storm water detention and treatment of the proposed storm drain systems in Van Buren and Pico streets, as well as opportunities for groundwater recharge. The basin will be hydraulically connected, and two outfalls with one providing outlet to the San Bernardino County Flood Control District (SBCFCD) drainage area and another providing a secondary outlet to the Gage Canal.

At De Berry, a local storm drain system at the intersection of De Berry Street and Commerce Way will capture flows from De Berry and connect to the existing SBCFCD storm drain line under Commerce Way, draining to the basin.

Within Van Buren Street, the proposed facilities include a 36" reinforced concrete pipe (RCP) from the regional basins to the Michigan Street intersection, with a local storm drain system and catch basins to protect the intersection from flooding and storm water velocity. Additional work will include installation of new curbs and driveways at sump conditions east of Michigan Street to protect property from flooding during major storms. The installation of the storm drain in Van Buren Street will de-water the existing natural drainage area.

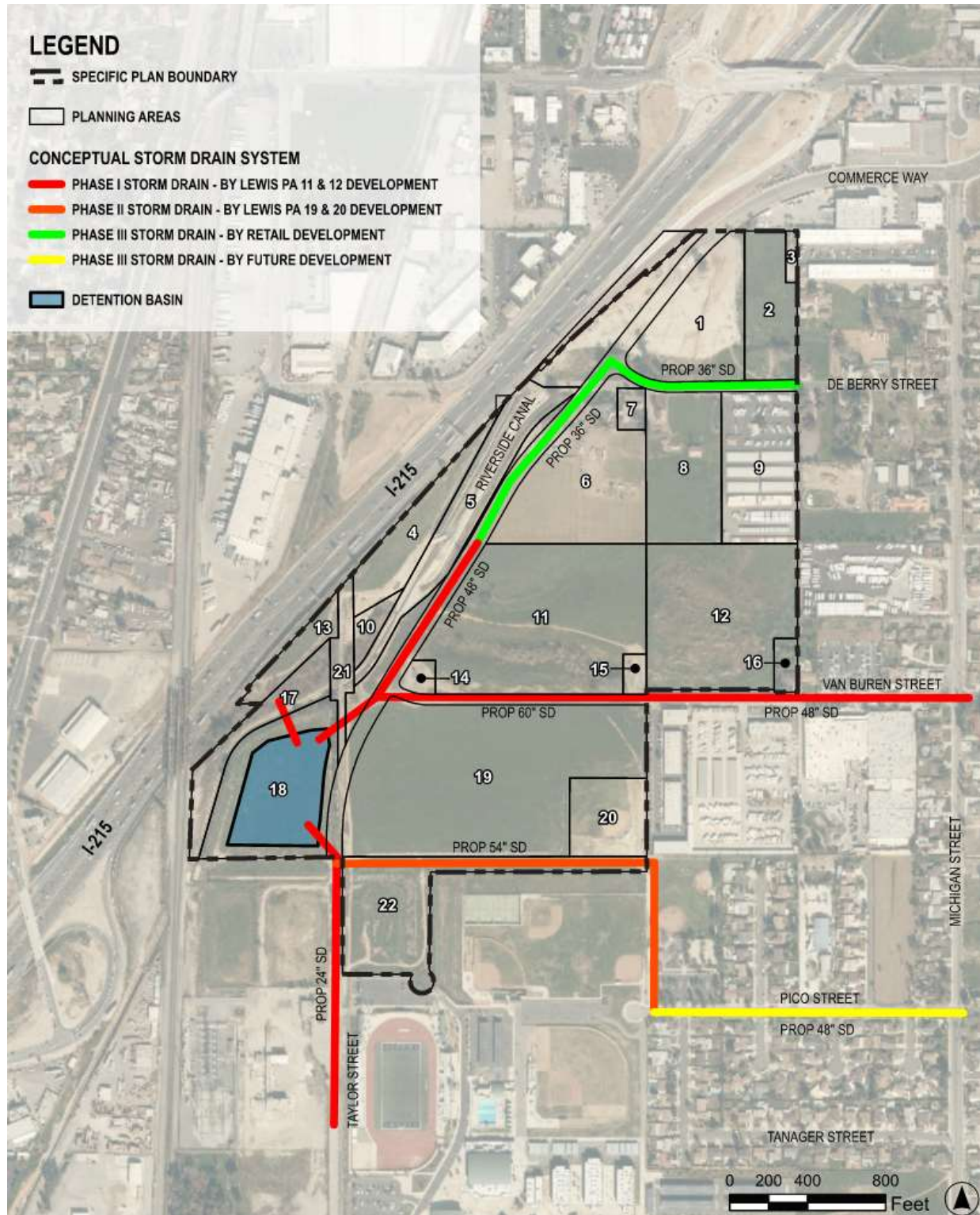
Phase 2:

In Pico Street, the proposed facilities include a 54" RCP from the regional basins along the northerly edge of Grand Terrace High School and stubbed to the westerly cul-de-sac in Pico. In the future, a 48" storm drain will be extended east to the intersection of Michigan Street, with a local storm drain system and catch basins to protect the intersection from flooding and storm water velocity and to alleviate additional flooding. Along with the future 48" storm drain extension, new raised curbs will also be required at various sections along Pico Street to prevent flooding.

All proposed site-specific drainage improvements will be developed and analyzed as future projects are developed and entitled. All site drainage will ultimately discharge at the existing low point of the Specific

Plan area and then under I-215. All proposed improvements would be constructed to the requirements of the City of Grand Terrace and the SBCFCD.

Figure 3.3-1: Conceptual Storm Drain Plan



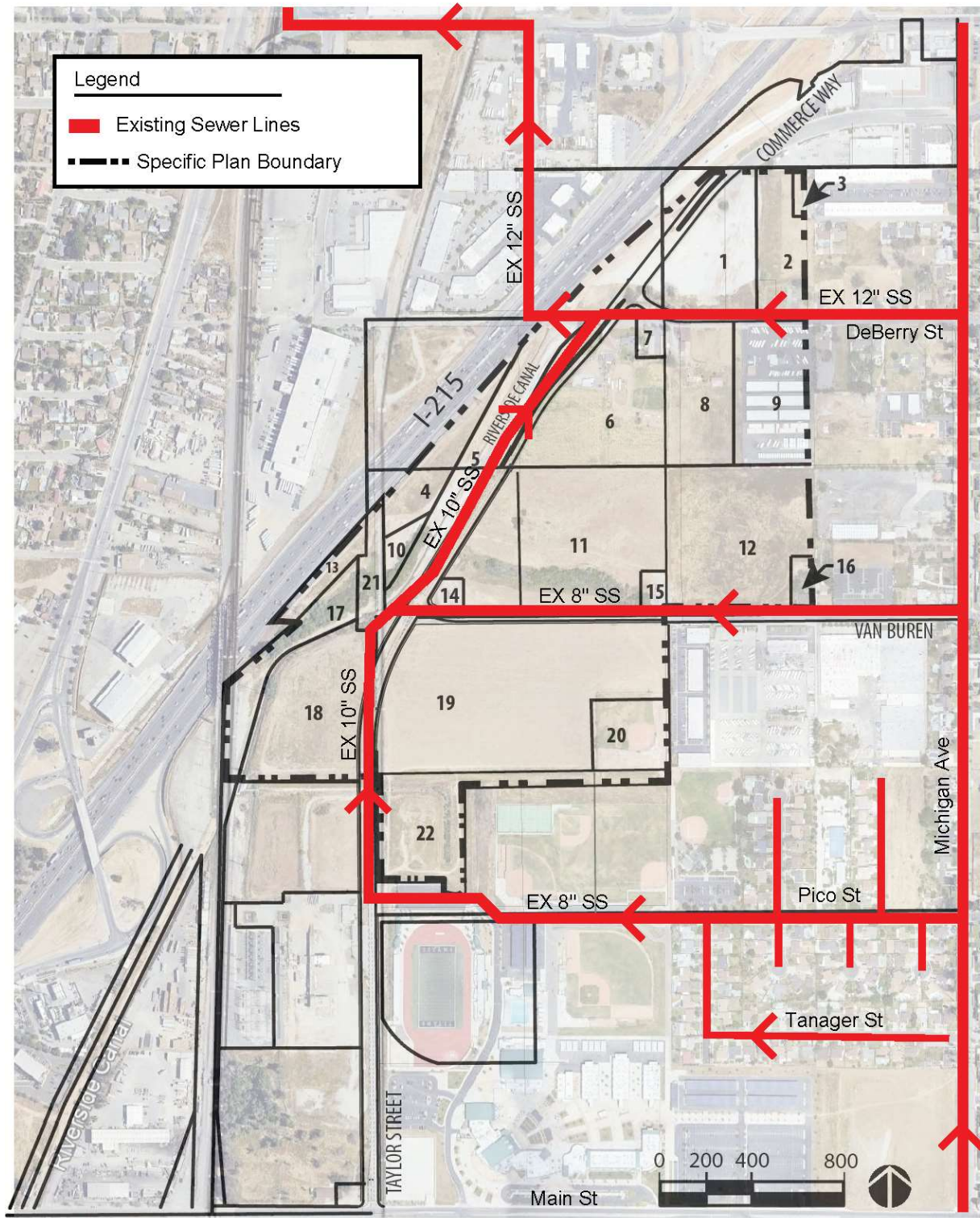
3.4 Sewer Plan

Sanitary sewer service is provided by the City of Grand Terrace through various agreements between the cities of Grand Terrace and Colton. The City of Colton leases to the City of Grand Terrace and maintains the sewer lines and treats the wastewater. There are a number of existing gravity sewer lines in the vicinity of the project. The main sewer line in the area is a 12-inch trunk sewer line in De Berry Street that conveys flow from east to west through the Project and then increases to 18-inch before it crosses Interstate 215. After crossing I-215, the sewer line flows north and increases in size before reaching the Colton Water Reclamation Facility. There is also a 10-inch gravity sewer line in Commerce Way that conveys flows south to the 18-inch trunk sewer line. A 10-inch sewer line in Taylor Street conveys flows north to the 18-inch trunk sewer line. There are 8-inch gravity sewer lines in Van Buren Street and Pico Street that convey flows from east to west to the 10-inch line on Taylor Street. **Figure 3.4-1: Existing Sewer Plan** shows the existing sewer facilities.

Sewer improvements will be designed and sized to tie into the existing/backbone infrastructure to serve all future development within the Specific Plan area. Based on **Figure 3.4-1: Existing Sewer Plan**, the existing backbone sewer infrastructure is adequately sized to accommodate these flows. Wastewater collected from the Specific Plan area will continue to be conveyed in an existing 18-inch diameter sewer pipeline under the I-215 freeway to the treatment plant in Colton.

A Sewer System Analysis was prepared as part of the Specific Plan to evaluate the capacity of the existing sewer system. The analysis concluded that the existing local collector sewers have adequate capacity to serve the developments within the Specific Plan area.

Figure 3.4-1: Existing Sewer Plan



3.5 Water

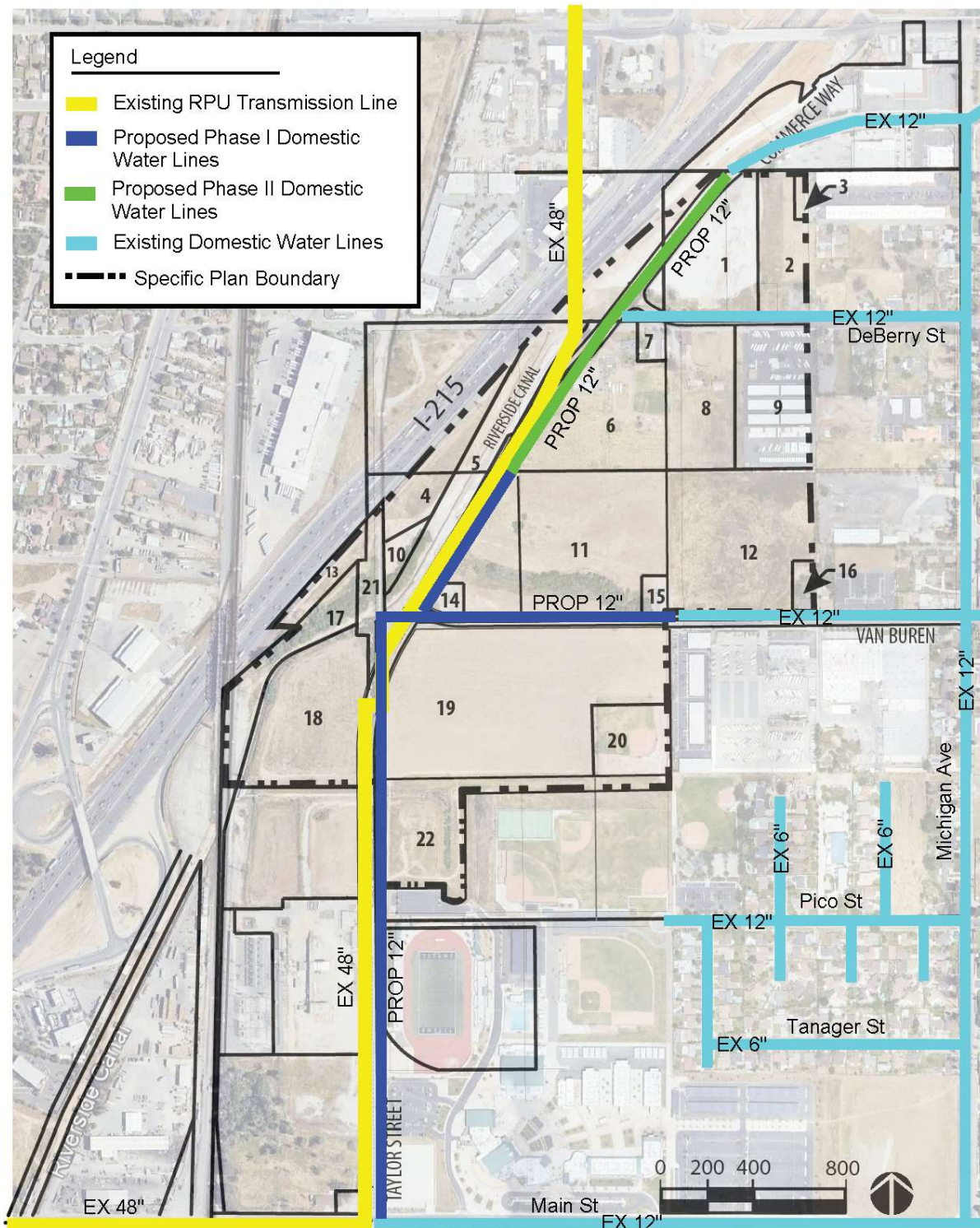
Domestic and irrigation water service for the City is provided by Riverside Highland Water Company (RHWC). RHWC is a private water company owned by its shareholders. The company maintains water main transmission lines, wells, reservoirs and service laterals throughout the City, portions of Colton, and portions of unincorporated San Bernardino and Riverside Counties and is directly responsible for their ongoing maintenance

The Specific Plan relies on both existing and new water mains which are proposed along the eastern border of the Riverside Canal; Planning Areas 14, 11, and 15; and south from Planning Area 21 to the Taylor Street/Main Street intersection. **Figure 3.5-1: Conceptual Water Plan** shows the existing and proposed water facilities.

All proposed site-specific water improvements will need to be developed and analyzed as the projects are developed and entitled. Hydraulic analysis of the proposed water lines will need to be analyzed and improvements will be constructed to the requirements of the City of Grand Terrace and RHWC.

All areas proposed for development will be provided with fire suppression systems. Major development areas will be provided with looped on-site mains to ensure adequate pressure for fire suppression. Fire hydrants will be installed at locations approved by the San Bernardino County Fire Department. RHWC lines will be extended to loop around the Specific Plan area.

Figure 3.5-1: Conceptual Water Plan



3.6 Dry Utilities

Electricity

Electrical power service is provided by Southern California Edison (SCE) which maintains a system of above and below-ground transmission and distribution lines throughout the City. SCE also maintains a major substation within the City. The Val Vista Substation on Newport Road is a major switching station for SCE's Southern California grid. All new on-site lines will be placed underground, except when they relate to the existing electrical substation, and the existing transmission lines that cross the site at various locations.

Natural Gas

Natural gas service is provided by Southern California Gas (SoCalGas) Company who maintains a system of natural gas mainlines and laterals throughout the City, primarily within public rights-of-way. Any additional necessary lines will need to be identified and constructed with the Specific Plan improvements.

Cable TV

The cable service franchisee in the Specific Plan area is currently Time Warner; other cable companies may provide service if permitted by the City in the future. Time Warner maintains a system of above and below-ground lines throughout the City, primarily within public rights-of-way. All new on-site cable lines will be placed underground.

3.7 Public Services

Police Services

The City of Grand Terrace contracts with the San Bernardino County Sheriff to provide general patrol services as well as all necessary management and support services. Sheriff's services are operated from the County's main Sheriff's station at 655 East 3rd Street in San Bernardino. Police service costs associated with the Specific Plan at full buildout are anticipated to be approximately \$360,000 or constitute an approximate 49 percent of the City's General Plan fund.

Fire Services

Fire protection services for the City are provided by the San Bernardino County Fire Protection District (SBCoFD). Primary fire protection services are operated from the City's only fire station, Station 23 located at 22582 Center City Court in Grand Terrace. This station is staffed by three full-time fire personnel during the fire season (May 1 through November 30) and by two full-time fire personnel during the non-fire season (December 1 through April 30). The full-time personnel are augmented by an on-call company of 20 paid call firefighters who respond to fire and rescue calls and provide response coverage to the station when on-duty personnel are committed to an emergency call. Fire service expenses associated with the Specific Plan would stem from the SBCoFD funds which receives funds from the City through a 1 percent dedication of City's property tax assessment.

Waste Management Services

The City of Grand Terrace maintains a franchise agreement with Burrtec Waste Industries, Inc. (Burrtec) for the collection and disposal of municipal solid wastes, organic and recyclable materials generated by residences and businesses within the City. Burrtec provides weekly residential collection services for municipal solid waste, organic and mixed recyclables and green waste. Collection services to commercial and industrial uses are provided from one to six times per week and include a wide range of waste and recyclable collection services. Additionally, there will be organic waste options to comply with current state mandates. All municipal solid waste collected in the City is taken to the San Bernardino County landfill system for disposal. The nearest landfills to the Project site are the San Timoteo Landfill and the Mid-Valley Landfill.

Residents and businesses will comply with ongoing waste management programs/requirements implemented by the City (e.g., hazardous waste disposal, electronic and universal waste). The City has multiple waste events throughout the year to help residents with non-typical waste needs. It is the responsibility of each property owner and/or tenant to start service for solid waste collection. Appropriate space shall be provided for storage of solid waste on each site.

Schools

All public schools within the City of Grand Terrace are owned and operated by the Colton Joint Unified School District (CJUSD). Students within the Specific Plan area would attend the following schools:

- ▶ Grand Terrace Elementary School
- ▶ Terrace View Elementary School
- ▶ Terrace Hills Middle School
- ▶ Grand Terrace High School

Applicable school fees will be paid at the time of building permit issuance. In the event of overcrowding at any of the local schools, newly registered children may be transferred to other schools throughout the District until local capacity is available.

Annual recurring costs to the City's public services and utilities associated with the full buildout of the Specific Plan would be offset in recurring revenue generated by full buildout of the Specific Plan. Financial characteristics of the Specific Plan are further discussed in **Section 6.6, Financing**.



CHAPTER DEVELOPMENT STANDARDS **4**

4.1 Development Standards Overview

This Specific Plan is a regulatory document and serves as the zoning for all properties within the Specific Plan area. In addition to the development standards contained in the Specific Plan, properties within the Specific Plan area are subject to applicable regulations of the GTMC, such as general provisions and processing requirements. Definitions are the same as in the City's Zoning Code. To the extent any regulation in this Specific Plan conflicts with the City's Zoning Code, the regulation set forth herein shall prevail.

The Gateway at Grand Terrace Specific Plan provides detailed regulations and standards for new residential and commercial developments within the specific plan area. The standards are intended to ensure consistency and compatibility for new residential and commercial development within the Specific Plan area.

In addition, development standards for passive and active recreation spaces and parks are also provided in this Chapter.

Definition of Terms

Abut. Contiguous to.

Access or Accessway. The place or way by which pedestrians and vehicles have safe, adequate, and usable ingress and egress to the property or use as required by this Specific Plan.

Accessory Structure. A building, part of a building, or structure which is subordinate to, and the use of which is incidental to that of the main building, structure or use on the same lot. It does not mean separate living quarters or guest house but does mean and is not limited to playhouses, storage sheds, elevated decks, patio covers, patio enclosures, Type 1 and Type 2 sunrooms, antennas, radio and other towers and satellite dishes.

Addition. Any construction to an existing structure which results in an increase in the square footage and/or volume of said structure.

Alcoholic Beverages. Any spiritous, vinous, malt or other alcoholic liquor.

Alley. A public or private thoroughfare or drive aisle providing access to a unit or property

Altered. Any work which results in a change to an existing structure.

Altered, structurally. Any change in the supporting members of an existing structure, such as foundations, bearing walls, column beams, floor or roof joists, girders or rafters, changes to enclose additional space, or any other change determined by the building and safety department to be of a structural manner.

Amendment. The changing of boundaries of districts, or by changing any other provisions thereof by addition, deletion or change in the wording, context or substance of this Specific Plan.

Apartment. A room or set of rooms fitted especially with housekeeping facilities (including kitchen facilities) and used as a dwelling unit generally for rental purposes.

Awning. Any permanent or removable projection designed for shade, attached to a building by brackets or other means, but not having any direct connection or support on the ground.

Basement. A space wholly or partly underground, and having more than one-half of its height, measuring from its floor to its ceiling, below the average adjoining grade. If the finished floor level directly above a basement is more than six feet above grade at any point, such basement shall be considered a story.

Balcony. A platform projecting from the external wall of a building and enclosed by a railing or parapet.

Billboard. Any sign which directs attention to a business, commodity, service or entertainment conducted, sold or offered elsewhere than on the premises, and only incidentally on the premises if at all.

Building. Any structure having a roof supported by columns or by walls designed for the support, shelter or enclosure of persons, animals, chattels or property of any kind.

Building, main or principal. A building within which is conducted the principal use permitted on the lot, as provided in this title.

Building Site. A lot or parcel of land, in single or joint ownership, and occupied or to be occupied by a main building and accessory buildings, or by a dwelling group and its accessory buildings, together with such open spaces as are required by the terms of this title and having principal frontage on a street, road or highway.

Business. The purchase, sale or other transaction involving the handling or disposition (other than that included in the terms "industry," as defined in this Specific Plan) of any article, substance or commodity for livelihood or profit, including in addition, operation of automobile or trailer parks, tourist courts and motels, public garages, office buildings, offices of doctors and other professionals, outdoor advertising signs and structures, public personal services, places where commodities or services are sold or are offered for sale either by direct handling of merchandise or by agreements to furnish them, but not including dumps and junkyards. "Business" means the same as "commerce."

Clinic. A place for group medical services not involving overnight housing of patients.

Club. An association of persons (whether or not incorporated), religious or otherwise for social purpose, but not including groups which are organized primarily to render a service carried on as a business for profit.

Cluster Development: Four or more units are arranged with front doors facing a common green paseo with a rear alley for garage access.

Common Open Space. Land in a residential development held in common and/or single ownership and not reserved for the exclusive use or benefit of an individual tenant or owner.

Conditional Use. A use permitted in a particular zoning district only upon showing that such use in a specified location will comply with all the conditions and standards for the location or operation of such use as specified according to zone and authorized by the Planning Commission.

Condominium. An estate in real property consisting of an undivided interest in common in a portion of a parcel of real property together with a separate interest in space in a residential, industrial, or commercial building on such real property, such as an apartment, office or store. A condominium may include in addition a separate interest in other portions of such real property. Such estate may, with respect to the duration of its enjoyment, be either (a) an estate of inheritance or perpetual estate, (b) an estate for life or (c) an estate for years, such as a leasehold or sub-leasehold.

Density. The number of dwelling units or housing structures per acre of land.

Duplex or Two-Family Dwelling. A building which is designed or used exclusively for the occupancy of two families, living independently of each other and having separate kitchen facilities for each family.

Frontage. The length of that portion of a lot abutting a street.

Garage. An accessible and usable covered and completely enclosed space of not less than ten feet by twenty feet per space and used for vehicular and general storage purposes only. Such garage is to be so located on the lot so as to meet the requirements of this title for an accessory building, or if attached to the main building, to meet all the requirements applicable to the main building.

Guest Parking. On-site parking spaces provided for intermittent use by visitors.

Home Occupation. Any use customarily conducted entirely within a dwelling and carried on by the inhabitants thereof, which use is clearly incidental and secondary to the use of the structure for dwelling purposes and which use does not change the character thereof or does not adversely affect the uses permitted in the zone of which it is a part.

Homeowners Association. A community association that is organized within a development and in which individual owners share common interests and responsibilities for open space, landscaping, and/or facilities.

Landscaping. The original planting of suitable vegetation in conformity with the requirements of this title and the continued maintenance thereof.

Loading Space. An off-street space or berth on the same lot with a main building or contiguous to a group of buildings for the temporary parking of commercial vehicles while loading or unloading, and which shall not to interfere with pedestrian and/or vehicular traffic or other appropriate means of ingress and egress.

Maximum Lot (Building) Coverage. The maximum area of the lot that may be covered by buildings and roofed structures. This may be expressed in square footage or as a percentage of the minimum lot area.

Multi-Family Residential. A housing development with two or more attached residential units. It also includes a mixed-use development with a residential component.

Motor Court Development. Four or more units are arranged with front doors and garages facing a common stub street or driveway.

Paseo. A landscaped corridor with a common path.

Public Easement. A space on a lot or parcel of land, and so indicated on a subdivision map or in a deed restriction reserved for or used for public utilities or public uses.

Restaurant. A place which is used for the serving of meals to guests for compensation and which has suitable kitchen facilities connected therewith, containing conveniences for cooking an assortment of foods commonly ordered at various times of the day. The service only of such food as sandwiches or salads shall not be deemed to constitute a "restaurant."

Setback Area. The minimum distance required by zoning to be maintained between two structures or between a structure and a property line.

Showroom. A room used to display goods for sale, such as appliances, cars, or furniture.

Single-Family Detached. One residential structure containing no more than one dwelling and complying with a minimum living area requirement of one thousand square feet. It shall also be known as a full-sized single-family unit or single-family dwelling.

Specific Plan. A fully planned community, with all design controls, servicing requirements and financing techniques incorporated into the plan, which is adopted with a self-contained regulatory text and serves to implement the general plan in more detail.

Wireless telecommunications facilities. Communications towers, antennas, and the necessary appurtenances. A land use that sends and/or receives radio frequency signals, including antennas, microwave dishes or horns, structures or towers to support receiving and/or transmitting devices, accessory development and structures, and the land on which they all are situated. This includes the current technologies of cellular communications and personal communications services (PCS) and smart radio (SMR).

Yard, Front. A space between the front yard setback line and the front lot line or planned street right-of-way line and extending the full width of the lot. The front yard of a cul-de-sac shall be measured from its narrowest depth.

Yard, Rear. A space between the rear yard setback line and the rear lot line, extending the full width of the lot.

Yard, Side. A space extending from the front yard setback line or from the front lot line where no front yard is required by this title to the rear yard setback line or the rear lot line, between a side lot line and the side yard setback line.

Permitted Uses

The Planning Areas within The Gateway at Grand Terrace Specific Plan may be developed and/or used according to those activities listed in **Table 4.1-1: Permitted and Conditionally Permitted Uses** below.

Table 4.1-1: Permitted and Conditionally Permitted Uses provides a comprehensive list of allowable uses and establishes the Permitted (P) and Conditionally Permitted (C) land uses within each land use designation throughout the Specific Plan area.

Table 4.1-1: Permitted and Conditionally Permitted Uses					
	Open Space	Park	Commercial	Residential (R 4-20)	Drainage Facilities
Residential Uses					
Single-family (including small-lot, detached/attached, cluster, and motor court)	-	-	-	P	-
Multi-family units (including duplexes, condominiums, and apartments)	-	-	-	P	-
Senior citizen housing					
Residential Accessory Uses					
Home occupation (as permitted per chapter 5.06)	-	-	-	P	-
Second-Family Unit (as permitted per Chapter 18.63)	-	-	-	P	-
Leasing offices	-	-	-	P	-
Residential community recreation facility	-	-	-	P	-
Other accessory uses directly related to primary Residential use (as approved by the Planning Director)	-	-	-	P	-
Automotive related services (includes motorcycles, boats, recreational vehicles, trailers and campers)					
Retail sales of parts and supplies (No Wholesale)	-	-	P	-	-
Retail sales of heavy equipment and trucks	-	-	C	-	-
Rental agency	-	-	C	-	-
Sales (used vehicle sales, repair and maintenance activities only in conjunction with new dealers)	-	-	C	-	-
Sales (New vehicle sales)	-	-	C	-	-
New tire sales (inside tire storage only)	-	-	C	-	-
Indoor Storage	-	-	C	-	-
Showrooms	-	-	C	-	-
Research & Development					
Laboratories, research and development facilities	-	-	P	-	-
Eating and Drinking Establishments					
Bars, cocktail lounges, nightclubs, live entertainment	-	-	C	-	-
Catering	-	-	P	-	-
Microbrewery	-	-	C	-	-
Restaurants - With the incidental serving of beer and wine (without a cocktail lounge, bar, entertainment or dancing)	-	-	P	-	-
With entertainment and/or serving of alcoholic beverages (other than beer and wine)	-	-	C	-	-
Fast food (without a drive-thru)	-	-	P	-	-
Fast food (with a drive-thru)	-	-	C	-	-

Table 4.1-1: Permitted and Conditionally Permitted Uses

	Open Space	Park	Commercial	Residential (R 4-20)	Drainage Facilities
Medical					
Clinics, urgent care	-	-	P	-	-
Medical laboratories	-	-	P	-	-
Medical/dental offices	-	-	P	-	-
Optician and optometric shops	-	-	P	-	-
Office and Administrative Uses					
Banks, financial services and institutions	-	-	P	-	-
Business and office services	-	-	P	-	-
(Interior showroom	-	-	P	-	-
Realtors and real estate offices	-	-	P	-	-
Travel agencies	-	-	P	-	-
Professional office	-	-	P	-	-
Recreation/Entertainment					
Amusement arcades	-	-	C	-	-
Auditoriums	-	-	C	-	-
Bowling centers	-	-	C	-	-
Indoor fitness and sports facilities (health clubs, gymnasiums, fitness centers) 4,000 square feet or less	-	-	C	-	-
Greater than 4,000 square feet	-	-	C	-	-
Movie theaters	-	-	C	-	-
Museums	-	-	P	-	-
Music, exercise and dance studios	-	-	P	-	-
Retail-Commercial Uses					
Apparel stores (including jewelry stores)	-	-	P	-	-
General retail (i.e., art, music, collectibles, and video games stores)			P		
Building materials, garden equipment and supplies (without outside storage) (including Nurseries & garden supply stores within enclosed area)	-	-	P	-	-
Building materials, garden equipment and supplies (with outside storage)	-	-	C	-	-
Convenience stores (including Liquor/Alcohol sales)	-	-	C	-	-
Daycare centers (child or adult) and Nursing and residential care facilities	-	-	C	-	-
Electronic, appliance, and office stores (including small electronic, appliance, and office repair shops)	-	-	P	-	-
Food and beverage stores (including Farmers Markets and bakeries)	-	-	P	-	-
Furniture and home furnishing stores (including household goods stores and antique stores)	-	-	P	-	-
General merchandise stores (including Leather goods and luggage stores)	-	-	P	-	-

Table 4.1-1: Permitted and Conditionally Permitted Uses

	Open Space	Park	Commercial	Residential (R 4-20)	Drainage Facilities
Health and personal care stores and services (including Drug stores and pharmacies)	-	-	P	-	-
Hardware stores (including locksmith shops)	-	-	P	-	-
Hobby and craft shops (including costume design, art, music and photography supply stores)	-	-	P	-	-
Pet shops	-	-	P	-	-
Publishing, printing, blueprinting, and reproduction services	-	-	P	-	-
Schools, business, hospitality, & professional (including art, barber, beauty, performing arts, and hotels)	-	-	C	-	-
Showroom (room used to display goods for sale)	-	-	C	-	-
Smoke shops	-	-	C	-	-
Sporting goods stores	-	-	P	-	-
Veterinary (domestic, no boarding) (w/boarding requires CUP)	-	-	P	-	-
Veterinary w/boarding	-	-	C	-	-
Personal Services					
Barbers, hair salons, nail shops	-	-	P	-	-
Dry cleaners, tailor shops	-	-	P	-	-
Laundromats, self-service	-	-	C	-	-
Message centers and PO boxes	-	-	P	-	-
Photography or portrait studio, by appointment only	-	-	P	-	-
Public and Quasi Public Facilities (places of worship and non-profit organizations)	-	-	C	-	-
Government offices and facilities (administration buildings)	P	P	P	P	-
Police and fire stations	P	-	P	P	-
Rail Transit Station	-	-	-	-	-
Utilities					
Public Utilities, distribution and support facilities	P	P	P	P	-
Other Uses					
Wireless telecommunications facilities	C	-	-	-	C
Electric Vehicle Charging Stations (EVCS) including Level 1 Charging, Level 2 Charging, and DC Fast Charging. *	-	P	P	P	-
Other uses which are determined by the planning commission to be similar in nature to a use listed in this section;	-	-	C	-	-
Temporary Uses					
Food trucks (recurrent) – 1 year permit maximum			C		
Mobile food services including food trucks (special event) - Special Event Permit	-	-	SE	-	-
Temporary uses which are determined by the	P		P	-	-

Table 4.1-1: Permitted and Conditionally Permitted Uses

	Open Space	Park	Commercial	Residential (R 4-20)	Drainage Facilities
Director not to have significant long-term impact on the environment. (Uses such as parking lot sales, Christmas tree sales, seasonal sales, rummage sales, and others with review through the land use approval or administrative site and architectural approval process in accordance with Chapter 18.63, Site and Architectural Review.)					
Temporary construction offices (as approved by Director)	P	P	P	P	-
Outdoor displays/uses may take place in front of business on-site, which have been approved with a conditional use permit. Temporary special event permits will be required for display of associated balloons, banners and special event signs.	C	-	C	-	-
Notes: P = Permitted Use C = Conditional Use Permit T = Temporary Use Permit SE= Special Event Permit *Level 1 and Level 2 Charging are typically suitable for residential or workplace charging. DC Fast Charging is typically suitable destination and rapid charging.					

Prohibited Uses

Table 4.1-2: Prohibited Uses establishes a list of land uses, activities and facilities throughout the Specific Plan area that are not allowed. All prohibited uses are prohibited in every land use designation.

Table 4.1-2: Prohibited Uses

Prohibited Uses in The Gateway at Grand Terrace Specific Plan Area

Adult-oriented retail/exotic dance clubs
 Check cashing services
 Marijuana sales and cultivation
 Massage parlors and/or massage related uses
 Motels (temporary lodging with exterior doors and halls)
 Pallet yards
 Pawn Shops
 Recycling collection services
 Tattoo and piercing parlors
 Thrift stores
 Tire storage (outdoor)
 Uses that include the storage of hazardous and/or flammable materials
 Unlisted uses as defined by GTMC Section 18.79 "Unlisted Uses"

4.2 Residential Development Standards

The Gateway at Grand Terrace Specific Plan intends to provide flexibility for the area to develop a wide range of product types, from small-lot detached, detached/attached cluster or motor court style to multi-family residential units. The Specific Plan's intent is also to permit unique and creative residential products that may not traditionally be permitted by the City's existing residential zoning requirements. Development standards governing residential development in R 4-20 identify building setbacks, building height, density, open space, and parking requirements. All residential developments within the R 4-20 (Planning Areas 11, 12, 14, 15, 16, 19, and 20) are subject to the development standards as set forth in **Table 4.2-1: Residential Development Standards**.

Table 4.2-1: Residential Development Standards

GATEWAY AT GRAND TERRACE SPECIFIC PLAN – MULTI-DENSITY RESIDENTIAL LAND USE			
MULTI-DENSITY RANGE: 4 – 20 DWELLING UNITS/ACRE (du/ac)			
PRODUCT TYPE	Single-Family (Fee Simple)	Detached Small-Lot and Detached/Attached Cluster and/or Motor Court ¹ (Condominium Map)	Multi-Family ¹ (Condominium Map)
SITE CONFIGURATION			
Minimum Lot Size (square feet or sf)	7,200	No Minimum	No Minimum
Minimum Lot Width Interior Lot	60'	No Minimum	No Minimum
Minimum Lot Width Exterior Lot	70'	No Minimum	No Minimum
Minimum Lot Depth	100'	No Minimum	No Minimum
Maximum Building Site/Lot Coverage	50%	Not Applicable	Not Applicable
Maximum Floor Area Ratio (FAR)*	N/A	0.75	0.85
SETBACKS			
Minimum Building Setbacks (Building to Building)			
Minimum Building Separation	See minimum side setbacks	5'	5'
Minimum Front Setbacks			
Front Yard (from Property Line)	25'	Not Applicable	Not Applicable
Front (Building) to Van Buren Street R.O.W.	25' for rear entry garage products (Front entry garage products are prohibited along Van Buren Street).	10' for rear entry garage products (Front entry garage products are prohibited along Van Buren Street).	10' for rear entry garage products (Front entry garage products are prohibited along Van Buren Street).
Front (Building) to Commerce Way R.O.W.	25' for rear entry garage products (Front entry garage products are prohibited along Commerce Way).	10' for rear entry garage products (Front entry garage products are prohibited along Commerce Way).	10' for rear entry garage products (Front entry garage products are prohibited along Commerce Way)
Garage Door to Drive Court/Internal Street and/or Alley	20'	3'	3'

Minimum Side Setbacks			
Side Yard for Interior Lot (from Property Line) With Garage Without Garage	10' 5'	For detached small-lot Products: 3.5' For detached/attached Cluster and/or Motor Court (Condominium Map): See minimum building separation (Measured from Building to Building)	See minimum building separation (Measured from Building to Building)
PRODUCT TYPE	Single-Family (Fee Simple)	Detached Small-Lot and Detached/Attached Cluster and/or Motor Court ¹ (Condominium Map)	Multi-Family ¹ (Condominium Map)
Side Yard for Corner Lot (from Property Line) Street Side No Street Side	15' 5'	Not Applicable	Not Applicable
Side (Building) to Van Buren Street	15' from Property Line	10' from Van Buren Street R.O.W.	10' from Van Buren Street R.O.W.
Side (Building) to Commerce Way	15' from Property Line	10' from Commerce Way R.O.W.	10' from Commerce Way R.O.W.
Side (Building) to Commercial Zoning	15' from Property Line	10' from Property Line	10' from Property Line
Side (Building) to Property Line When Facing Internal Street, Private Drive, or Alley	5' from Property Line	5' from R.O.W of Internal Street, Private Drive, or Alley	5' from R.O.W of Internal Street, Private Drive, or Alley
Minimum Rear Setbacks			
Rear Yard (from Property Line)	20'	For detached small-lot Products: See Garage Door to Internal Street, Private Drive, or Alley R.O.W. For detached/attached Cluster and/or Motor Court (Condominium Map): See Garage Door to Internal Street, Private Drive, or Alley R.O.W.	See Garage Door to Internal Street, Private Drive, or Alley R.O.W.
Rear (Building) to Van Buren Street	Not Applicable. All products along Van Buren are required to be street	Not Applicable. All products along Van Buren are required to be	Not Applicable. All products along Van Buren are required to

	fronting. Front garage entry products are prohibited along Van Buren.	street fronting. Front garage entry products are prohibited along Van Buren.	be street fronting. Front garage entry products are prohibited along Van Buren.
Rear (Building) to Commerce Way	20' from Property Line	10' from R.O.W.	10' from R.O.W.
Rear (Building) to Commercial Zoning (from Property Line)	20'	10'	10'
Garage Door to Internal Street, Private Drive, or Alley R.O.W.	See Rear Yard (from Property Line).	For detached small-lot Products: 18' For detached/attached Cluster and/or Motor Court (Condominium Map): 3'	3'
Rear to Internal Property Line	Same as rear yard	5'	5'
PRIVATE AND COMMON SPACE			
Minimum Open Space Dimensions	5'	5'	5'
Private Open Space ⁴	Not Applicable	100 sf/unit	100 sf/unit
Common Space	Not Applicable	See Multi-Family Residential Development Amenities IN The Gateway at Grand Terrace Specific Plan	See Multi-Family Residential Development Amenities IN The Gateway at Grand Terrace Specific Plan
MULTI-FAMILY RESIDENTIAL DEVELOPMENT AMENITIES IN THE GATEWAY AT GRAND TERRACE SPECIFIC PLAN			
<p>For ministerial approval only: Multi-family development applications seeking ministerial approval are subject to the requirements and applicability in the GTMC Section 18.64 Objective Design Standards. Any multi-family residential development application that complies with provisions of this Chapter and regulations of the applicable zoning district shall be eligible for a ministerial review process, as set forth in Section 18.64.080 (Permits and Approval).</p> <p>When an applicant elects to deviate from the objective design standards set forth in this Chapter, a ministerial review process shall not apply, and the development application shall be subject to any required discretionary application types, review and approvals as set forth in Chapter 18.63 (Site and Architectural Review).</p> <p>Multi-family development applications within The Gateway at Grand Terrace Specific Plan not seeking ministerial approval shall be subject the multi-family residential development amenities listed in this table below:</p>			
150 Units or Less	Not Applicable	Not applicable to “for sale” attached or detached single-family products.	Any multi-family residential development application that complies with provisions of this Chapter and regulations of the applicable zoning

		<p>Multi-family development within this product range shall be subject to the requirements and applicability in the GTMC Section 18.64 Objective Design Standards.</p> <p>Any multi-family residential development application that complies with provisions of this Chapter and regulations of the applicable zoning district shall be eligible for a ministerial review process, as set forth in Section 18.64.080 (Permits and Approval).</p> <p>When an applicant elects to deviate from the objective design standards set forth in this Chapter, a ministerial review process shall not apply, and the development application shall be subject to any required discretionary application types, review and approvals as set forth in Chapter 18.63 (Site and Architectural Review).</p>	<p>district shall be eligible for a ministerial review process, as set forth in Section 18.64.080 (Permits and Approval).</p> <p>When an applicant elects to deviate from the objective design standards set forth in this Chapter, a ministerial review process shall not apply, and the development application shall be subject to any required discretionary application types, review and approvals as set forth in Chapter 18.63 (Site and Architectural Review).</p>
151 Units or Above	Not Applicable	<p>Multi-family development applicant(s) seeking ministerial approval shall opt out from the above requirements and instead be subject to the requirements and applicability in the GTMC Section 18.64 Objective Design Standards.</p> <p>For Discretionary Review and Approval:</p> <p>Multi-family development of 151 units or above shall provide the following:</p> <ul style="list-style-type: none"> • Multi-purpose recreational building that may include a leasing office, a gym/wellness facility, and restrooms (Minimum size of 5,000 sf). • Children's Play Area, e.g., tot lot (Minimum size of 1,500 sf) • Swimming Pool (Minimum size of 5,000 sf) • BBQ area with table seating (Minimum size of 2,000 sf) • In-ground Spa (Minimum size of 1,000 sf) • Mail Center (Minimum size of 1,000 sf) • Dog Park (Minimum size of 4,000 sf) 	<p>Multi-family development applicant(s) seeking ministerial approval shall opt out from the above requirements and instead be subject to the requirements and applicability in the GTMC Section 18.64 Objective Design Standards.</p> <p>For Discretionary Review and Approval:</p> <p>Multi-family development of 151 units or above shall provide the following:</p> <ul style="list-style-type: none"> • Multi-purpose recreational building that may include a leasing office, a gym/wellness facility, and restrooms (Minimum size of 5,000 sf). • Children's Play Area, e.g., tot lot (Minimum size of 1,500 sf) • Swimming Pool (Minimum size of 5,000 sf) • BBQ area with table seating (Minimum size of 2,000 sf) • In-ground Spa (Minimum size of 1,000 sf)

		<ul style="list-style-type: none"> A minimum of one (1) passive flexible open space that may be used as community garden (Minimum size of 1,500 sf). 	<ul style="list-style-type: none"> Mail Center (Minimum size of 1,000 sf) Dog Park (Minimum size of 4,000 sf) A minimum of one (1) passive flexible open space that may be used as community garden (Minimum size of 1,500 sf).
WALLS AND FENCES⁵			
<p>For Ministerial Approval Only:</p> <p>Subject to the requirements and applicability in the GTMC Section 18.64 Objective Design Standards as well as Section 18.73.070 Fence and Wall Height. Any multi-family residential development application that complies with provisions of this Chapter and regulations of the applicable zoning district shall be eligible for a ministerial review process, as set forth in Section 18.64.080 (Permits and Approval).</p> <p>When an applicant elects to deviate from the objective design standards set forth in this Chapter, a ministerial review process shall not apply, and the development application shall be subject to any required discretionary application types, review and approvals as set forth in Chapter 18.63 (Site and Architectural Review).</p>			
Front Yards (maximum height for a solid or decorative fence or wall) ⁶	3'	3'	3'
Perimeter Walls (Maximum Height)	8 ft.	8 ft.	8 ft.
Interior Fence or Wall (side and rear yards)	6 ft. / 9 ft (with 3 ft. retaining max)	6 ft. / 9 ft (with 3 ft. retaining max)	6 ft. / 9 ft (with 3 ft. retaining max)
OTHER REQUIREMENTS			
Minimum Livable Area	1,000 sq. ft.	1 bedroom or studio—650 sq. ft.	1 bedroom or studio—650 sq. ft.
		2 or more bedrooms— 800 sq. ft.	2 or more bedrooms— 800 sq. ft.
Maximum Building Height	35 ft.	40 ft.	40 ft. ⁷
<p>NOTES:</p> <p>* Floor Area Ratio (FAR) is calculated by dividing the total building square footage by the total site area square footage.</p> <p>¹ These products are typically on a Condominium map and include units with front doors on paseo, public street, or private drive-aisle.</p> <p>² California Building Standard Code.</p> <p>³ California Residential Code.</p> <p>⁴ Porches and balconies may be included in this calculation.</p> <p>⁵ Where grade differential exists between building sites, the height of the fence or wall shall be measured from the higher grade.</p> <p>⁶ Walls may exceed the maximum height limit for the purpose of reducing high noise level, subject to an acoustical study and review and shall be approval by the Planning Commission.</p> <p>⁷ Maximum building height for multi-family development may be exceeded by up to 5% if the proposed building includes unique features or amenities, such as a roof deck, that will require additional height. Proposed building height that exceeds 40' shall be reviewed and approved by the Planning Director.</p>			

Parking Requirements

In addition to the standards provided in **Table 4.2-1: Residential Development Standards** above, all residential development within the Specific Plan is subject to parking standards and requirements in **Table 4.2-2: Residential Parking Requirements (GTMC Section 18.60.30.A)*** below and the GTMC Section 18.60.30.A "Parking Regulations."

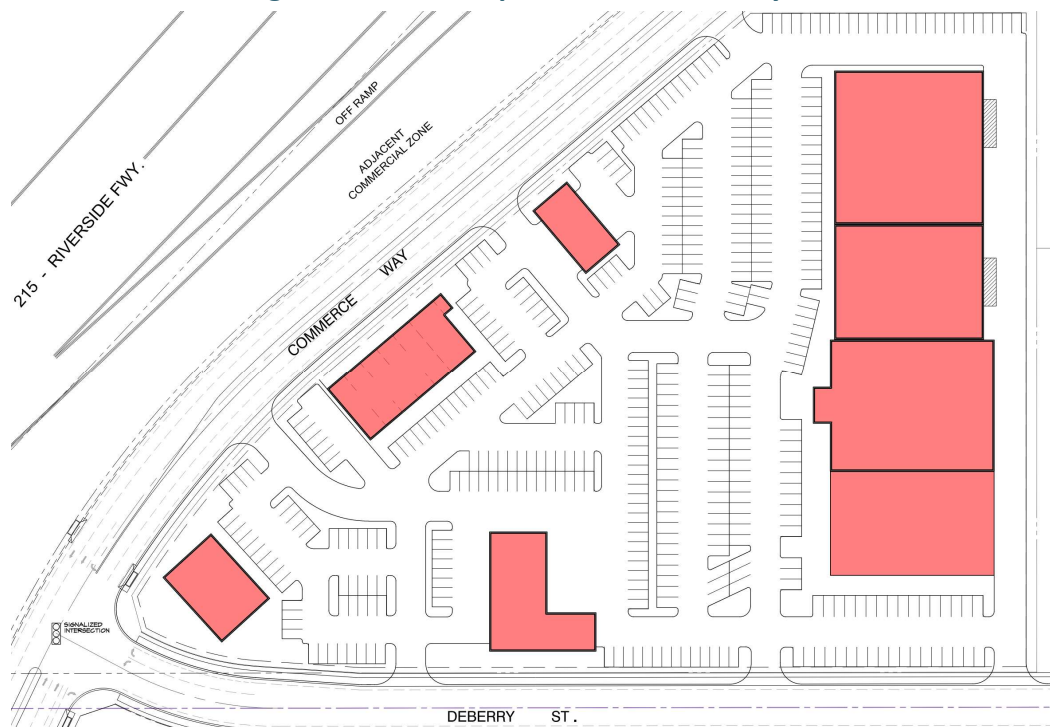
Table 4.2-2: Residential Parking Requirements (GTMC Section 18.60.30.A)*			
PRODUCT TYPE	Fee Simple Detached (Small-Lot Single-Family)	Detached and Attached Cluster/Motor Court ¹	Multi-Family (including Duplexes)
PARKING REQUIREMENTS			
For Single-Family (All Types)**			
Attached Garage	2 spaces for each residential unit, For rear load or alleys require an additional parking located within 200 feet from the residence being served		
For Multi-Family**			
Studio and/or 1 Bedroom			1 space/unit (at least 1 space shall be located within a garage or carport and all required spaces shall be located within 150 feet of the unit being served).
2 Bedrooms and/or 3 Bedrooms			2 spaces/unit (at least 1 space shall be located within a garage or carport and all required spaces shall be located within 150 feet of the unit being served).
4 Bedrooms or More			3 spaces/unit (at least 1 space shall be located within a garage, carport, driveway, or adjacent outdoor parking space. All required spaces shall be located within 150 feet of the unit being served).
Age-Qualified (unit intended for the sole occupancy of persons who are 55 years of age or older)/Senior Units			1 space/unit
Guest Parking			
All residential except Age-Qualified/Senior Units	0.25 spaces/unit i) Shall be identified as "Guest Parking"; (ii) Shall not be used for the storage of recreational vehicles, boats, trailers or other similar items; (iii) Shall be located on the same parcel of land as the residential units and shall be within 250 feet distance of said units; (iv) May be uncovered spaces; and (v) May be located on a private street within the site or in a common parking area.		
Age-Qualified (unit intended for the sole occupancy of			1 space/10 units

Table 4.2-2: Residential Parking Requirements (GTMC Section 18.60.30.A)*			
PRODUCT TYPE	Fee Simple Detached (Small-Lot Single-Family)	Detached and Attached Cluster/Motor Court ¹	Multi-Family (including Duplexes)
persons who are 55 years of age or older)/Senior Units			
Recreational Vehicle/ Utility Trailer Parking and Storage	Prohibited		
NOTES: * The Specific Plan's parking requirements are primarily consistent with the parking regulations in the GTMC Section 18.60.30.A **All new residential construction within The Gateway SP shall comply with the most recent California Green Building Standards Code – Electronic Vehicle (EV) Charging for New Construction. 1 Detached Cluster products are typically on a Condominium map and include units with front doors on paseo, public street, or private drive-aisle.			

4.3 Commercial Development Standards

The Commercial land use district allows for job-producing uses such as retail, eating and drinking establishments, services and offices that are desirable to the community and freeway-generated consumers. A landscape setback is required along all public streets and adjacent to residential uses. Parking can be located in front, to the side or to the rear of the building. **Figure 4.3-1: Conceptual Commercial Layout** provides a conceptual overview of the commercial area.

Figure 4.3-1: Conceptual Commercial Layout



Commercial development within The Gateway at Grand Terrace Specific Plan Commercial Designation (Planning Areas 1 through 4 and 6 through 9) is intended to provide for the retail commercial, office, and

service need of the community and is subject to the development standards in **Table 4.3-1: Commercial Development Standards**. In addition to the Commercial Development Standards, parking for the commercial area shall be subject to the GTMC Section 18.60.30.B (Parking Regulations for Commercial/Office Uses). Commercial parking areas shall be maintained and designed to encourage high-quality design, creating aesthetically pleasing spaces all throughout the Specific Plan area. Interior landscaping shall be installed to create shade and visual interest. Parking lot screen and shade trees shall be located within landscape planters and perimeter buffers at a ratio of one tree for every ten parking stalls.

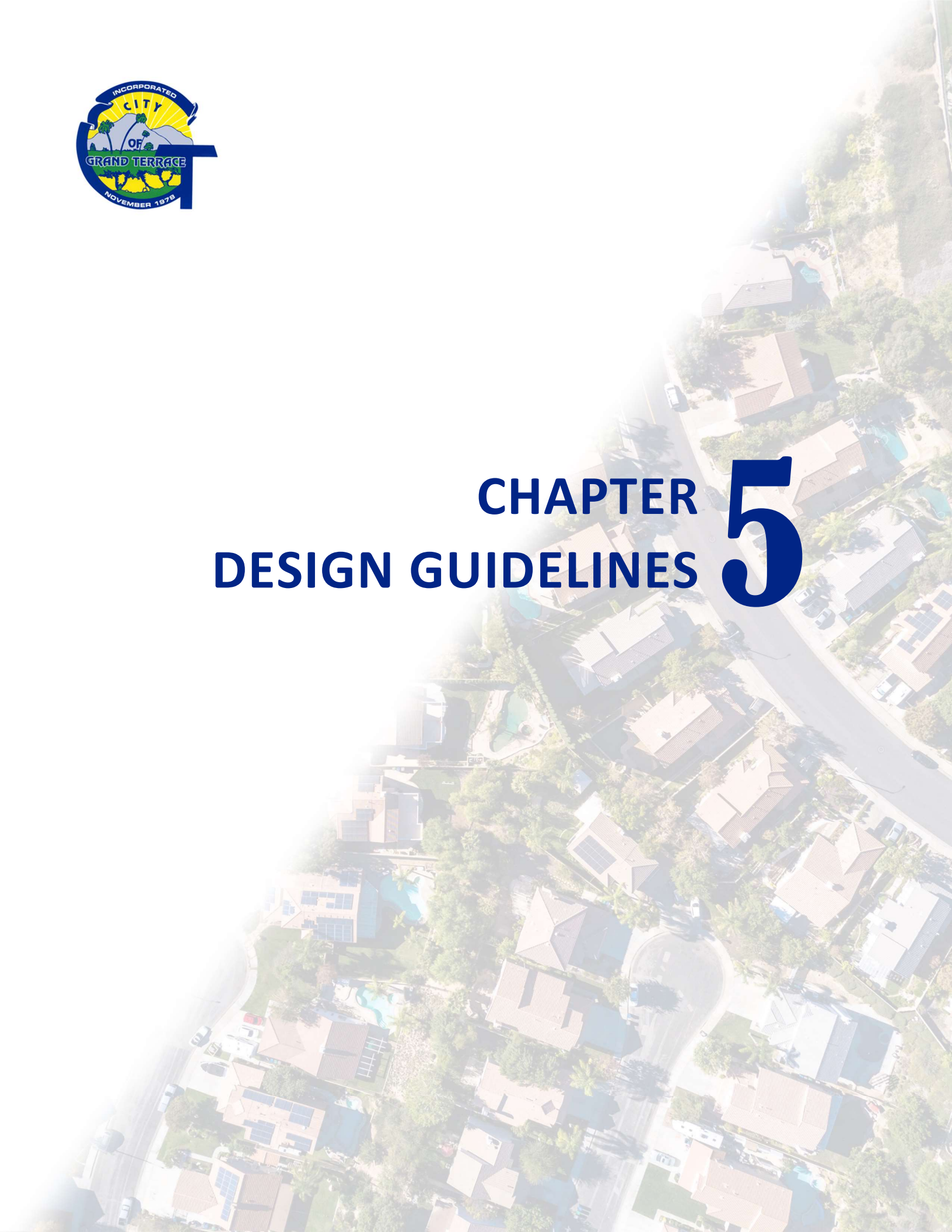
Table 4.3-1: Commercial Development Standards	
BUILDING SETBACKS (MEASURED FROM PROPERTY LINE)	
From Commerce Way	10' (fully landscaped)
From De Berry	10' (fully landscaped)
Interior	0*
OTHER REQUIREMENTS	
Minimum Required Street Frontage	70'
Lot Coverage	100%, less required site development standards
Landscape	Refer to GTMC Section 15.56.020 "Water Efficient Landscape"
Height (Maximum Linear Feet)	35' – architectural elements 45' max
PERIMETER WALLS	
Residential Adjacent	8' (Maximum)
<i>Notes: *Except when adjacent to a lot in a Residential zone, then 25 feet with at least 10 feet of landscape</i>	

Parking Requirements

Parking for the commercial area shall be subject to the GTMC Section 18.60 -Off Street Parking. Commercial parking areas shall be maintained and designed to encourage high-quality design, creating aesthetically pleasing spaces all throughout the Specific Plan area. Interior landscaping shall be installed to create shade and visual interest.



CHAPTER 5 DESIGN GUIDELINES



The Gateway at Grand Terrace Specific Plan Design Guidelines (Guidelines) provide a framework for development within the Specific Plan to ensure streetscapes and buildings convey a cohesive, high-quality community identity. These Guidelines are not intended to prevent alternative design solutions that are compatible with the vision for the Specific Plan area.

The residential area will feature a mix of architectural styles including Spanish, Monterey, Italian, Mission Revival, and Art Deco. The Commercial area will feature similar styles to residential including contemporary, Italian, Mediterranean, Agrarian, and Art Deco.

5.1 Design Principles for the Specific Plan

- ▶ Provide clear direction to designers and developers for the Specific Plan area;
- ▶ Reinforce the City of Grand Terrace's vision for redevelopment of underutilized parcels;
- ▶ Establish a strong community identity through a common landscape theme, signage and architecture;
- ▶ Promote pedestrian scale to ensure compatibility between non- residential and residential uses;
- ▶ Strengthen the pedestrian environment and improve overall community connectivity;
- ▶ Minimize negative impacts to adjoining uses; and
- ▶ Allow flexibility to respond to market conditions.

5.2 Design Guidelines

Residential Design Guidelines

Single-Family Residential

The design of Single-family housing shall provide a sense of scale, pedestrian utilization, provide a strong connection to the street and contribute to the overall character of the street and the adjacent neighborhood.

Single-Family development may include traditional single-family houses fronting onto public streets, alley-loaded dwelling units, split garage development, and clustered and motor court housing arrangements. Single-family development allows for more flexibility in the design of overall neighborhoods and promotes a range of housing types for consumers.

SITE PLANNING

Small-lot, cluster, and motor court residential neighborhoods encourage the design of detached and attached single-family housing with smaller yards. Smaller lots allow for creativity in site planning and place an emphasis on community spaces within each community. Future development shall consider the following principles during site design:

- ▶ Internal circulation networks shall provide efficient connections to external residential neighborhoods, shopping centers, and other desirable locations.
- ▶ Internal roadways shall be designed as loop circulation to avoid dead-ends and cul-de-sacs.
- ▶ Provide a connection to link residential development to public parks, multi-purpose trails, bike paths, and open space areas.
- ▶ Dwelling units shall be designed to engage the surrounding public roadways.



Small-lot/Cluster Dwelling Unit

- ▶ Private roads and alleys shall be visually distinguishable from public streets through the use of a variety of materials and colors.
- ▶ Use of alleyways and private drive aisles is encouraged, provided they are designed with pedestrian-oriented features. This includes sufficient lighting, landscaping, accent paving, and signage.
- ▶ Clustered housing around private drive aisles or alleys are encouraged, provided the units maintain the rhythm and proportion of the surrounding development.



Small-Lot Single-Family Dwelling Unit

- ▶ Pedestrian areas shall implement safety measures such as bulb-outs, pedestrian refuge areas, or enhanced signage.
- ▶ On-street parking is discouraged in areas with sufficient resident and guest parking within an alley configuration.

BUILDING PLACEMENT/ORIENTATION

High-quality design in determining the location and orientation of buildings is important on small residential lots as the individual buildings comprise a larger portion of the lot and become more visible from public areas. Alley load units put an emphasis on the front façade of the house and the street scene while clustered units are internally focused around an internal private drive aisle. Future development must ensure that the combination of different housing types within a close proximity create a cohesive appearance for the neighborhood.

Future development shall comply with the following principles during site design:

- ▶ For dwelling units not in a cluster organization that directly face a public roadway, the front setback for adjacent dwelling units shall differ from lot to lot to create variation in the street scene.
- ▶ Cluster units shall take primary pedestrian access from shared greenbelt areas between dwelling units. If not feasible, cluster units shall take primary access from the private drive aisle or alley.



Small-lot/Cluster Dwelling Unit

- ▶ Dwelling units shall be designed and sited to create usable front or rear yard private open spaces.
- ▶ Garage locations shall vary to deemphasize the impact of the garage face. Garage faces shall not be closer to the front lot line than the primary building façade.
- ▶ In a cluster organization, garages shall be recessed from the primary building façade facing both the public street and interior private drive aisles to minimize the visual impact.
- ▶ All residential units along Van Buren Street shall be street fronting.

BUILDING FORM AND MASSING

Building form and massing within small-lot residential settings is important as the increased density and closer buildings can impact the sense of pedestrian scale. Roof forms and building articulation have a great impact on the appearance of both individual buildings and the collective neighborhood. A variety of building heights, roof articulation and forms, and protruding architectural elements greatly increase the overall appearance. Future development shall consider the following principles during site design:

- ▶ Building design shall break the primary façade into three distinct elements: entry, main building, and roof.
- ▶ Second story elements of building shall step back from the base floor or incorporate single-story elements to decrease the impact on adjacent uses. This is especially important for dwelling units within a cluster that are directly adjacent to the public right-of-way.



Single-Family Dwelling Unit Displaying Separate Elements of The First And Second Story

- ▶ Building facades visible from a public space shall be articulated to increase architectural interest. Large sections of the primary façade on a single plane shall be avoided.

DESIGN INTENT

While building form and massing comprise a large portion of how a building is understood, architectural details, materials, and colors play a large part in creating a unique sense of place within a neighborhood. Future development of small-lot and cluster dwelling units shall consider how different architectural elements and styles work together to reinforce common community themes and portray a sense of architectural unity, rather than a collection of mismatched buildings.

Future development shall consider the following principles during site design:

- ▶ New residential subdivisions shall include a variety of floor plans and architectural styles.
- ▶ New residential development shall incorporate four-sided architecture design and features. For corner lots, front elevation design and materials are to wrap around the side elevation to an appropriate transition point, as determined by the Planning Division. For non-corner lots where building separations are 10 feet or greater, four-sided architecture design and features shall wrap around the side and rear elevations to provide for architectural relief. For non-corner lots where building separations are less than 10 feet, four-sided architecture is not required on side or rear elevations.



Single-Family Dwelling Unit

- ▶ New development shall utilize high-quality materials consistent with the traditional materials used for the specified architectural style. Substitute materials proven to be durable and of high aesthetic qualities shall be acceptable.
- ▶ Color palettes shall be representative of the proposed architectural style.
- ▶ Architectural styles shall differ on adjacent dwelling units or dwelling units directly facing one another, or diagonally across from each other.
- ▶ In a cluster organization, floor plans shall be similar in dwelling directly adjacent to each other. In this event, special attention shall be paid to diversify architectural styles and details, including changes in roof pitch, trim, color, and materials.

OPEN SPACE

Small-lot residential development typically includes smaller private open space area, allowing for fewer mature trees that can soften the nearby architecture. Enhancement of plant material and established street trees along the street scene and within common areas will provide opportunities to soften the appearance of these dense developments. Future development shall consider the following principles during site design:

- ▶ Street trees in residential neighborhoods shall have broad canopies to provide shade for pedestrians and soften nearby architecture.
- ▶ Plant material shall consist primarily of California native and drought tolerant trees, shrubs, and groundcovers.
- ▶ Planting plans shall be designed to group plants into hydrozones with similar water use requirements. All landscaped areas (public and private) shall highly-efficient irrigation methods.

- ▶ Common open space in the form of neighborhood parks, recreational facilities, athletic fields, and trails shall be centrally located and easily accessible.
- ▶ Parks and trails intended to be used at night shall be well-lit and provide ample wayfinding and instructional signage for safety purposes.
- ▶ Common open space areas shall provide a variety of uses that create recreational opportunities for residents of all ages. This shall include separate tot lot facilities for younger and older children, recreational fields, exercise equipment, etc.
- ▶ Alleyways and private drive areas shall incorporate vertical landscaping when feasible. This shall include trees, tall shrubs, or vines/groundcovers trained on climbing structures.
- ▶ Landscaping shall not block visibility at vehicular ingress/egress or obstruct sight lines for vehicles.



Landscaped Alleyways and Walking Paths Which May Be Created Within The Specific Plan Area

Multi-Family Residential

- ▶ The design of multiple-family housing is important with higher residential densities while still conveying a sense of human scale. Such buildings tend to have larger building masses but must relate to the neighborhood with a pedestrian scale. All multiple-family buildings, regardless of architectural style or building typology, should exemplify quality design. Building elements such as building form and massing, roof design, materials and color, garage design, detail elements, and functional elements will be consistent with the appropriate architectural style and shall complement those of surrounding buildings and land uses. New multi-Family residential development shall incorporate four-sided architecture design and features. For corner lots, front elevation design and materials are to wrap around the side elevation to an appropriate transition point, as determined by the Planning Division. For non-corner lots where building separations are 10 feet or greater, four-sided architecture design and features shall wrap around the side and rear elevations to provide for architectural relief. For non-corner lots where building separations are less than 10 feet, four-sided architecture is not required on side or rear elevations..



Multi-Family Attached Units

BUILDING FORM AND MASSING

The scale of higher-density buildings shall be designed for visual interest, creating rhythm and scale to the street. Composition of massing, interlocking volumes and addition of stylized details will achieve engaged streetscapes. This shall mean subtle massing offsets with a higher-level of detail, or bolder forms with more pronounced massing variation and simple to sparse detail. The design approach shall be tailored to the architectural style and context of the primary pedestrian street.



Pedestrian Access from a Private Street

The residential component of the Specific Plan area is comprised of a range of home types. These home types are designed to create small neighborhoods within the residential community. The variety of homes shall include a collection of varied but complementary forms that create a street scene that is clear to navigate physically and visually.

PLOTTING

By their very nature, multiple-family neighborhoods are like small villages; each shall be designed for compatibility within itself, using a blend of compatible architectural styles or one style with multiple elevations and a tastefully balanced palette of colors and materials.

- ▶ Select building colors from a community color palette;
- ▶ Design and site buildings with a strong physical relationship to public areas; and
- ▶ Emphasize pedestrian access and connections to common open space trails and sidewalks.



Private Residential Roadways



Private Outdoor Pedestrian Common Spaces

These neighborhoods shall offer a mix of floor plans and building types. A building type is defined as a composition of floor plans with a building massing that is distinguishable from other buildings within the neighborhood. This includes, but is not limited to, buildings with stacked flats, townhomes of varying sizes and orientations, and a mixture of these unit types.

PARKING AREAS

The focus of multiple-family buildings shall be their street front image and pedestrian access. Each neighborhood shall incorporate interior-oriented parking solutions and use the following design techniques to enhance the architecture of the street scene:

- ▶ Screen parking areas if they are visible from public streets with landscape or architectural solutions;
- ▶ Distribute resident parking on-site to provide close proximity as possible to individual units;
- ▶ Group unassigned or guest parking in convenient location(s);
- ▶ Provide required covered parking spaces in garages or carports for each unit;
- ▶ Provide landscape parking islands suitable for supporting shade trees every 10 stalls and at ends of parking rows; and
- ▶ Provide three-foot wide planters adjacent to walls or trash enclosures.

GARAGES

Garages shall be considered as part of the overall project design reducing their visual emphasis. Their relationship to the building shall be projecting, flush or recessed provided that it is compatible to the mass and style of the building. Where appropriate incorporate the following:

- ▶ Utilize the same architectural style, massing elements, wall materials and finish, design details and colors as the residential dwelling units;
- ▶ Use only roll-up doors;
- ▶ Use similar or compatible roof forms;
- ▶ Provide special architectural attention to end wall conditions that are visually prominent from the street;

- ▶ Utilize tandem garages to accommodate parking requirements where necessary; and
- ▶ Driveway aprons can vary from two to five feet in length, but care shall be given to provide opportunities for landscape where possible.

CARPORTS

These structures shall be compatible with the style, color and materials of the primary buildings and should include metal supports.

MULTI-FAMILY BUILDING AND SITE DESIGN

ORIENTATION

The primary orientation of a building or unit entrance in multi-family residential development shall be designed in accordance with the following standards:

1. Buildings adjacent to Van Buren Street shall have front entry features oriented to the street. Direct pedestrian access shall be provided between the public sidewalk and such primary building entry.
2. Buildings that are not adjacent to Van Buren Street shall have front entries that are oriented to interior common areas such as motor-courts, alleys, paseos, courtyards, and useable open space.
3. Access and configuration of exterior entrances to residential units shall be at the ground floor of the building. Exterior entrances to individual units on upper floors utilizing an exterior access corridor visible and/or connecting to the street shall be limited to serving a maximum of four units.

GENERAL BUILDING DESIGN

Buildings in multi-family residential development shall be designed in accordance with the following standards:

1. All buildings and structures within a multi-family development that are visible from a public street shall carry the same architectural treatment on all elevations, including the use of primary materials and colors – “four-sided architecture.”
2. All ground floor units and a minimum of 60 percent of the upper floor units shall include a balcony, patio, porch, or stoop.
3. All buildings shall include at least two of the following features above the ground floor of the building for at least 50 percent of the primary frontage and corner street side frontage.
 - a. Balconies and decks must be at least five feet in depth and if the balcony is intended for private open space exclusive to an individual unit, the width should be sufficient measurement if required to meet the minimum square footage of the zoning district.
4. Where divided lite window types are proposed, such windows shall consist of a true divided glaze area. Muntin material embedded between panes of glass or taped to window glass is prohibited.

COLORS AND MATERIALS

Colors and materials on buildings in multi-family residential development shall be designed in accordance with the following standards:

1. Primary wall material of the buildings shall be wood, stone, brick, stucco, fiber cement or other cementitious material, or composite wood or stone.
2. At least two materials shall be used on any building frontage, in addition to any glazing and railings located on the building frontage.
3. Buildings shall have at least one primary color, one secondary color, and one accent color, in addition to roof color.
4. Exterior surfaces of buildings within multi-family residential development shall prohibit the use or application of the following materials: mirrored glass, vinyl siding, corrugated fiberglass, chain link fencing, crushed colored rock or tumbled glass, and/or T1-11 siding and other siding that uses plywood, with the exception if used for board and batten.

SURFACE-LEVEL PARKING AND INDIVIDUAL GARAGES/CARPORTS

Multi-family residential development with surface parking, or where units are served by individual garages/carports, shall be designed in accordance with the following:

1. Surface parking shall not be located between the building and public street. If a development consists of multiple buildings, this only applies to the building(s) abutting the street. Surface parking shall be located to the rear of public street-adjacent buildings.
2. Curb cuts and driveways providing access to surface parking shall first be taken from an alley (if one exists); or second, from a street with a secondary or lesser classification; and lastly, from a street considered primary or arterial in classification.
3. Individual garages and/or carports shall use the same architectural details, materials, and colors of the residential buildings/units within the development.

CONNECTIVITY

Multi-family residential development shall include the following in the design of streets, sidewalks, and pedestrian pathways providing connectivity:

1. Internal sidewalks and pedestrian pathways shall provide an unobstructed walking surface and be American with Disabilities Act (ADA) compliant.
2. Internal streets shall comply with the following:
 - a. A continuous vehicular and pedestrian network shall be required within the development.
 - b. All internal streets, motor-courts, alleys, sidewalks, and pedestrian pathways in a development shall connect directly with existing and planned streets, alleys, sidewalks, and pedestrian pathways external and adjacent to the development where feasible.

LANDSCAPING AND USEABLE COMMON OPEN SPACE

In addition to the open space requirements of each zoning district, a multi-family residential development shall design common open space areas to be useable areas subject to the following standards:

1. Landscaping shall be located in all outdoor areas that are not specifically used for parking, driveways, walkways, patios, or as listed as required amenities.
2. Trees within landscaped areas shall be provided at a minimum size of 24-inch box, or a minimum 36-inch box if tree specimen has a 20-foot canopy.
3. Useable common open space shall have a minimum dimension of 10 feet in any direction and be contiguous to provide functional leisure or recreational activity.
4. Based on site constraints, location of useable common open space areas, where, feasible, shall be based upon the following:
 - a. Central to the majority of residents within the development.
 - b. Be separated from the ground level windows, pedestrian paths, streets, service areas and parking lots with landscaping and/or fencing (no chain link), subject to the height limitations of the underlying zoning district.

ILLUMINATION

Multi-family residential development shall incorporate the following into the design of lighting of parking lot areas, pedestrian pathways, and building and structure exteriors:

1. All publicly accessible areas and areas commonly used by residents shall be lighted with the following foot-candle (fc) levels as follows:
 - a. Service areas and vehicular traffic areas: minimum 0.2 fc, maximum four fc.
 - b. Pedestrian pathways and building entries: minimum one fc, maximum five fc, with an average of two fc.
 - c. Surface parking areas: minimum one fc, maximum four fc.
2. Surface parking area lighting fixtures shall be fully shielded, and dark sky rated.
3. Steady, non-flashing lighting of building features, artwork and special landscape elements shall be provided to compliment the building and site design, safe pedestrian circulation and gathering places, and without light spillage off-site.

EQUIPMENT AND SERVICE AREAS

Multi-family residential development shall incorporate the following in the design of equipment and service areas:

1. All service connections and on-site utilities including wires and pipes shall be located underground.
2. When permitted by the appropriate utility agency, exterior ground-mounted equipment shall be screened to not be visible from public roadways within and adjacent to the community. Screening materials shall be consistent with the exterior architecture, colors and materials of the building

or structure. Landscape elements that are consistent with the landscape concept can also be used as a form of screening. Exterior ground-mounted equipment shall include, but are not limited to, mechanical equipment, electrical equipment, water and fire systems, or emergency generators. Electrical equipment and fire riser rooms shall be located within the building envelope, unless fully integrated into the building architecture. Wall-mounted appurtenances such as roof ladders or electrical panels, shall be located away from the street façade where feasible, and painted, screened, or incorporated into the architectural elements of the building so as not to be visually apparent from public roadways within and adjacent to the community.

3. Refuse collection and storage areas shall be designed in accordance with the requirements of the City's service provider and the following standards:
 - a. Individual containers serving a dwelling unit shall have designated storage space within the assigned garage area serving the dwelling unit without obstructing the enclosed parking area or in a common enclosure that matches the architectural design, colors, and materials of the residential buildings.

MULTI-FAMILY ARCHITECTURAL STYLES

Within these communities it is desirable to have a cohesive look and feel. While some variation in architectural style is encouraged, one main thematic architectural style shall be used for the entire development provided a variety of building plans and types are utilized in the community, and the style used is executed properly through form, color, massing and architectural details. Multi-family communities with a central architectural theme are allowed to offer a single-color scheme if this helps to further define the architectural style proposed.

Residential architectural styles within the community may include:

- ▶ Spanish
- ▶ Monterey
- ▶ Italian
- ▶ Prairie
- ▶ Art Deco

SPANISH STYLE



Spanish Style Multi-Family Units

The Spanish style attained widespread popularity after the Panama-California exposition of 1915 in San Diego. The Spanish style's most notable characteristics include the use of "S" or barrel tile roofs, stucco walls, feature entry doors and porticos, highlighted ornamental iron work, and carefully proportioned recessed windows appropriate to the wall mass. Key features of this style are adaptable to buildings both grand and humble. Plans are informally organized around a courtyard with the front elevation very simply articulated and detailed.

The charm of this style lies in the directness, adaptability and contrast of materials and textures.



Landscaped Entryways to Spanish Style Multifamily Units

Multi-Family Spanish Style Elements		
Elements	Standards*	Enhancements
Roof Components	<ul style="list-style-type: none">• Hip OR gable roofs OR flat roof with parapet walls• Roof pitches 3.5:12 to 5:12 where applicable• Tight rake, where used	<ul style="list-style-type: none">• Parapets with barrel tile caps• Rafter tails, shaped tails preferred
Roof Materials	<ul style="list-style-type: none">• Concrete “S” tile	<ul style="list-style-type: none">• Barrel tile
Roof Colors	<ul style="list-style-type: none">• Hues of terra cotta OR other natural clay colors	
Architectural Components	<ul style="list-style-type: none">• Round top OR arched primary window OR architectural feature• Recessed openings at front entry OR porch	<ul style="list-style-type: none">• Shed roof accent feature• Porches, balconies OR verandas
Wall Materials	<ul style="list-style-type: none">• Medium sand float stucco finish (16/20)	<ul style="list-style-type: none">• Decorative ceramic tile OR brick accents
Wall Colors	<ul style="list-style-type: none">• Toned whites and light to medium-light value warm colors	
Trim & Details	<ul style="list-style-type: none">• Stucco-wrapped, high density foam trim with fine sand float stucco finish (20/30) OR smooth manufactured foam trim• Gable end tile details• Decorative metal elements (pot shelf, gate, balcony, etc.)	<ul style="list-style-type: none">• Closed OR exposed eaves• Wood beam accents, especially at porch• Wall mounted light fixtures at garage door• Well-placed and proportional entry light fixtures
Trim Colors	<ul style="list-style-type: none">• Medium dark value browns reminiscent of stained wood	
Windows	<ul style="list-style-type: none">• Vertically proportioned windows• Recessed feature windows	<ul style="list-style-type: none">• Divided lights• Round top windows
Doors	<ul style="list-style-type: none">• Front entry doors without a porch, deeply recessed from front facade• Rectangular OR arched surrounds (following door design)	
Accent Colors	<ul style="list-style-type: none">• True to muted blues, greens, rust and burgundy in medium to dark value range OR dark browns	
* All of the standard characteristics shall be incorporated into the design of any building using this architectural style. Variations shall be subject to review and approval by the Planning Commission.		

MONTEREY STYLE

Influenced by both Spanish Colonial and New England Colonial homes, historical Colonial Monterey features Spanish detailing while maintaining the Colonial style form. With its stucco or masonry walls, red barrel, “S” or flat concrete shake roofs, this style exhibits many of the same elements as an historical Spanish home: simple building form and mass, rusticated corbels, head trim, posts or balconies, and gable roof forms. Traditionally the style included horizontal siding on upper floors and the use of wood railings. Interpretations of this style maintain a simple elegance. The early prototypes added many refinements and new details. Though usually thought to be fully adorned with porches, second floor balconies and verandas, many successful, historical adaptations of this style avoided these details and focused simply on careful massing, detail and the natural beauty inspired through its blend of rich Spanish and Colonia heritage.



Monterey Style Multi-Family Buildings

Multi-Family Monterey Style Elements		
Elements	Standards*	Enhancements
Roof Components	<ul style="list-style-type: none"> Simple roofs of hips OR gables OR flat roof with parapet walls Roof pitches 4:12 to 6:12 where applicable 	<ul style="list-style-type: none"> Parapets with barrel tile cap Rafter tails, shaped tails preferred
Roof Materials	<ul style="list-style-type: none"> Concrete “S” tile OR flat concrete shake tile OR asphalt shingles 	
Roof Colors	<ul style="list-style-type: none"> S” tile in hues of terra cotta OR other natural clay colors Shake tile in natural wood tones 	
Architectural Components	<ul style="list-style-type: none"> Balconies cantilevered OR supported Simple wood beams at balcony 	
Wall Materials	<ul style="list-style-type: none"> Medium sand float stucco finish (16/20) 	<ul style="list-style-type: none"> Brick OR slump block on first floor at main entrance

Multi-Family Monterey Style Elements		
Elements	Standards*	Enhancements
	<ul style="list-style-type: none">• Material change at second floor, typical	<ul style="list-style-type: none">• Board and battens OR horizontal siding at upper level
Wall Colors	<ul style="list-style-type: none">• Light to medium value warm colors and toned whites	
Trim & Details	<ul style="list-style-type: none">• Stucco-wrapped, high density foam trim with fine sand float stucco finish (20/30) OR smooth manufactured foam trim• Closed OR exposed eaves• Plank-style shutters on feature windows	<ul style="list-style-type: none">• Well-placed and proportional entry light fixture• Wood (or simulated wood products) OR metal railing
Trim Colors	<ul style="list-style-type: none">• Medium to dark value browns reminiscent of stained woods OR toned whites	
Windows	<ul style="list-style-type: none">• Vertically proportioned windows with simple minimal trim• Typically rectangular, arches discouraged	
Doors	<ul style="list-style-type: none">• Rectangular openings, with simulated precast surrounds OR header	
Accent Colors	<ul style="list-style-type: none">• Muted tones of medium to dark value blue, green, rust OR burgundy and dark browns	
* All of the standard characteristics shall be incorporated into the design of any building using this architectural style. Variations shall be subject to review and approval by the Planning Commission.		

ITALIAN STYLE



Italian Style Multiple-Family Building

The Italian style is a good example of a transplanted style developed in a climate zone similar to the southern California climate. In the 1860's, the Italian Villa was one of the fashionable architectural styles in the United States based on the formal and symmetrical palaces of the Italian Renaissance. Italian homes are straightforward and boxy, with only window crowns and cornice moldings as ornamentation.

This old-world prototype has been refined, adapted and embellished into a truly eclectic classic style. The shallow pitched hipped roof, often with decorative brackets, identifies this style. As it became a popular building material, wrought iron expanded the Italian style vocabulary to include a variety of embellished designs for porches, balconies, railings, and fences.

An off-shoot of this style emerged in the row houses of San Francisco with amplified Italian Renaissance characteristics including the emphasis on the use of classic Roman orders in columns, decorative motives along the exaggerated cornice line and projecting bay windows under hip roofs.



Varied Landscaping for Italian Style Buildings

Multi-Family Italian Style Elements		
Elements	Standards*	Enhancements
Roof Components	<ul style="list-style-type: none">• Main hip roof with hip ancillary roofs OR flat roof with parapets or mansards and cornice elements• Roof pitches 3.5:12 to 5:12 where applicable	<ul style="list-style-type: none">• Closed/shaped eave with corbels at accent elements
Roof Materials	<ul style="list-style-type: none">• “S” concrete tile	<ul style="list-style-type: none">• Barrel tile
Roof Colors	<ul style="list-style-type: none">• Hues of terra cotta OR other natural clay roof tile colors	
Architectural Components	<ul style="list-style-type: none">• Precast surrounds	<ul style="list-style-type: none">• Medallions
Wall Materials	<ul style="list-style-type: none">• Medium sand float stucco finish (16/20)	<ul style="list-style-type: none">• Brick OR stone accents
Wall Colors	<ul style="list-style-type: none">• Medium to medium dark value saturated colors in earth tones, especially yellow, orange and red	
Trim & Details	<ul style="list-style-type: none">• Window and door trim• Horizontal belt course	<ul style="list-style-type: none">• Formal entry with smooth stucco trim• Cast stone surrounds, precast trim• Simulated precast columns at entry OR between windows• Base trim
Trim Colors	<ul style="list-style-type: none">• Wood trim in medium dark to dark value browns; precast concrete trim in medium light value, warm toned whites	
Windows	<ul style="list-style-type: none">• Arched, round top, OR pedimented accent windows at selected locations• Symmetrically ordered and stacked windows and openings	<ul style="list-style-type: none">• Paneled OR louvered shutters on accent window• Grid patterned at front and visible windows• Recessed windows
Doors	<ul style="list-style-type: none">• Entries detailed with precast surround feature• Paneled front entry doors• Paneled garage doors	<ul style="list-style-type: none">• Garage doors with windows
Accent Colors	<ul style="list-style-type: none">• Vibrant shades of medium dark to dark value blues, greens, oranges and reds	
* All of the standard characteristics shall be incorporated into the design of any building using this architectural style. Variations shall be subject to review and approval by the Planning Commission.		

PRAIRIE STYLE

The roots of Prairie architecture began in the late 1800s with the “Oak Park” and “River Forest” houses of Frank Lloyd Wright. The Prairie School of architecture came to California with its own unique interpretation. The style is characterized by horizontal expressions and proportions. Horizontal proportions provide an “earthy” feel while the lower pitched roof often seems to float with its deep overhangs over banded windows. Porte cocheres or raised porches extend out from the entry of the house as a typical feature of this style.

This first purely American style included new decorative motifs and details. The Prairie style in its vernacular form spread throughout the Midwest and to California and New York, along with Wright’s belief that a building should fulfill its primary function, but also exude character, life, spirit, beauty and a vibrant environment.



Prairie Style Multi-Family Building

Multi-Family Prairie Style Elements		
Elements	Standards*	Enhancements
Roof Components	<ul style="list-style-type: none">• Hip roof typical OR flat roof with parapet walls• Roof pitches 3:12 to 4:12 where applicable	<ul style="list-style-type: none">• Wider overhangs (24”) at prominent locations
Roof Materials	<ul style="list-style-type: none">• Flat concrete slate tile	
Roof Colors	<ul style="list-style-type: none">• Warm, earthy colors including reds, oranges, greens and browns	
Architectural Components	<ul style="list-style-type: none">• Strong massing OR design features that accentuate horizontal• Porches OR stoop entries	
Wall Materials	<ul style="list-style-type: none">• Medium sand float stucco finish• Horizontal siding OR brick accents	<ul style="list-style-type: none">• Brick base accents
Wall Colors	<ul style="list-style-type: none">• Warm colors in light to medium value range	
Trim & Details	<ul style="list-style-type: none">• Horizontal belt course• Appropriately scaled columns	<ul style="list-style-type: none">• Gable end details• Tapered OR double-post porch columns on brick piers
Trim Colors	<ul style="list-style-type: none">• Medium dark to dark value range warm colors or toned whites	
Windows	<ul style="list-style-type: none">• Banded or grouped windows• Vertically proportioned windows	<ul style="list-style-type: none">• Strong unifying head OR still on grouped windows
Doors	<ul style="list-style-type: none">• Paneled front entry door• Paneled garage door	<ul style="list-style-type: none">• Garage door with windows
Accent Colors	<ul style="list-style-type: none">• Earthy, medium to dark value range colors including greens, oranges, reds, and browns	
* All of the standard characteristics shall be incorporated into the design of any building using this architectural style. Variations shall be subject to review and approval by the Planning Commission.		

ART DECO STYLE

The Art Deco style (including Streamline or Art Moderne subsets) was prevalent in America from the mid 1920s to mid 1940s. This style combined elements of Modern Architecture with an integration of decorative arts. There was less emphasis on asymmetrical compositions and on structural purity in favor of pattern of mass and rhythm of openings. Art Deco buildings can feature bold colors, bold geometric and rectilinear shapes, often emphasizing the vertical.

Later in this period came Streamline or Art Moderne influenced by aerodynamic principles of cars, trains, ships and even household appliances. This style has an emphasis on smooth, horizontal lines often accented by curved corner elements whether in solid walls (decorated with tiles or screed lines), windows, or glass block. Thin horizontal canopies, rounded forms, and even porthole windows are typical character-defining elements. The simple massing typology of this style is well-suited for multi-family attached and high-density homes.



Art Deco Style Multi-Family Buildings

Credit: Designlens.com

Multi-Family Art Deco Style Elements		
Elements	Standards*	Enhancements
Roof Components	<ul style="list-style-type: none"> Flat Roofs with parapet walls Roof pitches not applicable Small ledge coping along top of parapet walls 	<ul style="list-style-type: none"> Tile or decorative accents along parapet
Roof Materials & Colors	<ul style="list-style-type: none"> Consistent with overall design, as applicable 	
Wall Materials	<ul style="list-style-type: none"> Stucco 	
Wall Colors	<ul style="list-style-type: none"> Neutral to bold colors including whites and tints 	

Multi-Family Art Deco Style Elements		
Elements	Standards*	Enhancements
Trim & Details	<ul style="list-style-type: none"> Accent colors and/or materials highlighting vertical forms 	<ul style="list-style-type: none"> Decorative horizontal or vertical grooves, geometric patterns Stylized motifs as an accent just below the top of the parapet Belt line running along the wall at a height even with the top of a second story window header
Trim Colors	<ul style="list-style-type: none"> Contrasting neutral hues 	
Windows	<ul style="list-style-type: none"> Large single-pane feature windows and corner windows Secondary vertical windows 	<ul style="list-style-type: none"> Transom window accents Horizontal window million patterns
Doors	<ul style="list-style-type: none"> Simple doors 	
Accent Colors	<ul style="list-style-type: none"> Bold, contemporary accents strategically applied 	
<p>* All of the standard characteristics shall be incorporated into the design of any building using this architectural style. Variations shall be subject to review and approval by the Planning Commission.</p>		

MULTI-FAMILY ARCHITECTURAL REQUIREMENTS



Building Form and Scale

The form of a multi-family building shall be consistent with an appropriate architectural style. However, buildings shall relate to each other both horizontally and vertically. Due to their nature as larger buildings, multi-family building design must be mindful of the relationship to, and impact on, adjacent neighbors. Each neighborhood shall include a collection of varied but complementary forms which creates a street scene that is clear to navigate physically and visually.

- ▶ Maintain a human-scale through breaking up building shapes into multiple forms;
- ▶ Project a front door image on units that open onto courtyard space or street front. If front doors need to be located at a drive aisle, then special attention must be paid to make these entries safe, pedestrian friendly and attractive;
- ▶ Provide porches, covered entry spaces or courtyards as a transition to public spaces; and
- ▶ Vary setbacks on building elements/facades.



Building Height

Buildings shall incorporate elements that reduce visual height, such as:

- ▶ Providing open balconies at building corners to provide negative space; and
- ▶ Reducing massing along pedestrian-oriented edges.

Windows

Typically, the location of windows is determined by the practical considerations of room layout, furniture placement, views and privacy. Design emphasis here should be of particular concern as windows play an important role in the exterior architectural character of attached residential buildings.

- ▶ Within the appropriate style requirements, group and coordinate windows with other design elements to create a composition and sense of order; and
- ▶ Use appropriate scale and proportion in window design to enhance the elevation style.



Multi-Family Building Groupings

Balconies

The inclusion of balconies is encouraged for both aesthetic and practical purposes. They are useful in breaking up large wall plains, offsetting floors, creating visual interest and adding human scale to the building. They provide the practical advantage of creating outdoor living areas and elevated open space.

- ▶ Balconies may be covered or open, and may either be recessed into the mass of the building or serve as a projecting element; and
- ▶ Balconies shall be designed as integral elements of the building with details, eaves, supports, and railings to echo the architectural style and other elements of the building's design.

ARCHITECTURAL DETAILING

Buildings shall activate the street, utilizing elements such as canopies and decks, awnings, stoops, plazas, and enhanced entries with porches, trellises or courtyards, where appropriate to building typology and architectural style, as transitional spaces between the “private” and “public” realms.

Exterior stairs and guardrails, when used, shall be designed as an integral part of the architecture. Stair guardrail design shall be consistent with the architectural style of the building.

Accessory Structures

Detached garages, carports, and other similar accessory structures shall be compatible in design, materials, and color with the primary building. Such structures shall be visually related to the main building through the use of courtyards, garden walls, or other landscape elements.



Bold, simple form with traditional elements

SIGNAGE

All community and gateway signage must be part of a sign program that meets the GTMC Section 18.80 “Signs” requirements.

Sign materials and color shall reflect the architecture style of the development.

ON-SITE AMENITIES

All development shall provide usable spaces where patrons or employees can comfortably gather and spend time socially or during work breaks. To encourage the utilization of outdoor spaces, the following amenities are required as determined by the Planning Director:

- ▶ Seating opportunities for individuals or small groups;
- ▶ Table Seating;
- ▶ Trash Receptacles
- ▶ Drinking Fountains
- ▶ Trees and/or shade structures;
- ▶ Unique and/or decorative landscape elements, architectural elements or artwork.

COMMUNITY RECREATION AND COMMON FACILITIES

A common recreation area shall be provided. Common facilities within the recreation area may include pools, spas, club houses, management offices, barbecues and other facilities appropriate to the demographic profiles of the community. These facilities may be shared between the neighborhoods.



- ▶ Common recreation facilities shall be key character elements for the neighborhood;
- ▶ All architectural and community elements, such as street furnishings, benches, lighting standards and trash receptacles, shall be consistent with the selected overall architectural character for the neighborhood;
- ▶ Clubhouse and other common buildings shall exhibit 360-degree architecture; and
- ▶ Colors, massing, roof pitch and materials shall be compatible with residential buildings or project theme.



Community Common Areas



Spanish Style Community Pool Amenity

Commercial Design Guidelines

COMMERCIAL ARCHITECTURAL STYLES

The Architectural styles for the Commercial area may include:

- ▶ Contemporary
- ▶ Mediterranean
- ▶ Agrarian
- ▶ Art Deco



Contemporary, Mediterranean, and Agrarian Retail Building Styles



Art Deco Retail Building Style

CONTEMPORARY STYLE

The Contemporary style guidelines promote cutting edge architectural design appropriate to commercial uses by using intersecting linear planes, flat roofs, cubic forms, wide overhangs, stacked stones, and the integration of landscape with the buildings. Exterior building materials should include stucco, concrete horizontal or vertical siding, brick or stone veneers, and metal accents.



Contemporary Retail Building Style

Commercial Contemporary Style Elements

Elements	Standards*	Enhancements
Roof Components	<ul style="list-style-type: none"> Flat roof with or without ledges Simple unadorned OR detailed parapet walls 	<ul style="list-style-type: none"> Accent roof features as appropriate Signature towers OR vertical projections can extend above roof line Cantilevered projections Tile roof Curved or arched roof
Architectural Components	<ul style="list-style-type: none"> Utilitarian and “edgy” Free-form composition Open interiors Colonnade Simple, clean forms 	<ul style="list-style-type: none"> Projections OR wall plains articulate façade Bright, open spaces
Wall Materials	<ul style="list-style-type: none"> Stucco, metal, concrete OR cementitious siding Sustainable, eco-friendly materials Tile accents Contrasting wall materials and textures 	<ul style="list-style-type: none"> Asymmetrical facade Horizontal OR vertical elements Brick OR stone veneer Metal accents, recycled steel Clean lines, simplistic, soft, rounded

Commercial Contemporary Style Elements		
Elements	Standards*	Enhancements
		<ul style="list-style-type: none"> • Concrete • Sunshades • Glass
Trim & Details	<ul style="list-style-type: none"> • Color blocking as appropriate • Wrought iron accents 	<ul style="list-style-type: none"> • Metal awnings OR overhangs
Windows	<ul style="list-style-type: none"> • Aluminum storefront OR curtain wall • Variety of window patterns 	<ul style="list-style-type: none"> • Larger window modules • Energy-efficient windows • Long ribbons of windows sometimes wrapping around corners
<p>* All of the standard characteristics shall be incorporated into the design of any building using this architectural style. Variations shall be subject to review and approval by the Planning Commission.</p>		

MEDITERRANEAN STYLE

The Mediterranean style is a good example of a transplanted style developed in a climate zone similar to the Southern California climate. This old world prototype has been refined, adapted and embellished into a truly eclectic classic style. The shallow pitched hipped roof, often with decorative brackets, identifies this style.



Mediterranean Retail Building Style



Mediterranean Style Large Retail Centers

Commercial Mediterranean Style Elements		
Elements	Standards*	Enhancements
Architectural Components	<ul style="list-style-type: none"> • Simple box, multi-story 'storefront' form with accent elements at entries • Precast surrounds • Colonnade 	<ul style="list-style-type: none"> • Medallions • Niches • Decorative Vents
Roof Components	<ul style="list-style-type: none"> • Flat roof with parapets or mansards and cornice elements OR hip ancillary roofs • "S" concrete tile if applicable • Tile roof 	<ul style="list-style-type: none"> • Closed/shaped eave with corbels at accent elements • Dutch gable roof • Synthetic barrel roofing tiles • Low-sloped-hip roof
Wall Materials	<ul style="list-style-type: none"> • Stucco finish • Tile accents 	<ul style="list-style-type: none"> • Brick OR stone accents • Vibrant, eclectic • Blue, colorful, bold • Symmetrical patterns
Trim & Details	<ul style="list-style-type: none"> • Awning OR projecting feature accenting overall design such as arcades, towers and loggias • Wrought iron accents 	<ul style="list-style-type: none"> • Horizontal belt course • Cast stone surrounds, precast trim • Base trim • Tile accents • Wrought iron grilles
Windows	<ul style="list-style-type: none"> • Arched, round top, OR pedimented accent windows at selected locations 	<ul style="list-style-type: none"> • Paneled OR louvered shutters
<p>* All of the standard characteristics shall be incorporated into the design of any building using this architectural style. Variations shall be subject to review and approval by the Planning Commission.</p>		

AGRARIAN STYLE

The Agrarian style has grown out of the early colonial development in the 1700s. As the American Frontier moved westward, the Agrarian style evolved according to availability of materials and technological advancements. Modern day architects have adapted this style to have an industrial twist with standing seam metal roofs and asymmetry. Roof ornamentation is a characteristic detail consisting of cupolas or weather vanes.



Agrarian Style Fast Food Building



Additional Agrarian Style Retail Buildings

Commercial Agrarian Style Elements		
Elements	Standards*	Enhancements
Architectural Components	<ul style="list-style-type: none"> Simple box, multi-story 'storefront' form with accent elements at entries 	<ul style="list-style-type: none"> Protruding wood headers, decorative, exposed rafter tails Wood posts with brackets
Roof Components	<ul style="list-style-type: none"> Flat roof with parapets OR mansards OR gable OR shed roofs 	<ul style="list-style-type: none"> Wrought iron details, Standing seam metal roofs Cupolas Substantial framing
Wall Materials	<ul style="list-style-type: none"> Stucco finish Natural materials 	<ul style="list-style-type: none"> Brick OR stone accents Siding
Trim & Details	<ul style="list-style-type: none"> Siding accents 	<ul style="list-style-type: none"> Calming color scheme
Windows	<ul style="list-style-type: none"> Aluminum storefront OR curtain wall Variety of window patterns 	<ul style="list-style-type: none"> Dormer window accents Shutters Divided lites
<p>* All of the standard characteristics shall be incorporated into the design of any building using this architectural style. Variations shall be subject to review and approval by the Planning Commission.</p>		

ART DECO STYLE

The Art Deco style (including Streamline or Art Moderne subsets) was prevalent in America from the mid 1920s to mid-1940s. This style combined elements of Modern Architecture with an integration of decorative arts. There was less emphasis on asymmetrical compositions and on structural purity in favor of pattern of mass and rhythm of openings. Art Deco buildings can feature bold colors, bold geometric and rectilinear shapes, often emphasizing the vertical.

Later in this period came Streamline or Art Moderne influenced by aerodynamic principles of cars, trains, ships and even household appliances. This style has an emphasis on smooth, horizontal lines often accented by curved corner elements whether in solid walls (decorated with tiles or screed lines), windows, or glass block. Thin horizontal canopies, rounded forms, and even porthole windows are typical character-defining elements.



Art Deco Commercial Building Style

Source: <https://la.eater.com/2022/3/24/22993520/gus-and-andys-kitchen-bar-montrose-glendale-california-restaurant-opening>

Commercial Art Deco Style Elements		
Elements	Standards*	Enhancements
Roof Components	<ul style="list-style-type: none"> Flat Roofs with parapet walls Roof pitches not applicable Small ledge coping along top of parapet walls 	<ul style="list-style-type: none"> Tile or decorative accents along parapet
Roof Materials & Colors	<ul style="list-style-type: none"> Consistent with overall design, as applicable 	
Wall Materials	<ul style="list-style-type: none"> Stucco 	

Commercial Art Deco Style Elements		
Elements	Standards*	Enhancements
Wall Colors	<ul style="list-style-type: none">Neutral to bold colors including whites and tints	
Trim & Details	<ul style="list-style-type: none">Accent colors and/or materials highlighting vertical forms	<ul style="list-style-type: none">Decorative horizontal or vertical grooves, geometric patternsStylized motifs as an accent just below the top of the parapetBelt line running along the wall at a height even with the top of a second story window header
Trim Colors	<ul style="list-style-type: none">Contrasting neutral hues	
Windows	<ul style="list-style-type: none">Large single-pane feature windows and corner windowsSecondary vertical windows	<ul style="list-style-type: none">Transom window accentsHorizontal window million patterns
Doors	Simple doors	
Accent Colors	<ul style="list-style-type: none">Bold, contemporary accents strategically applied	
<p>* All of the standard characteristics shall be incorporated into the design of any building using this architectural style. Variations shall be subject to review and approval by the Planning Commission.</p>		

Commercial Building Placement/Orientation

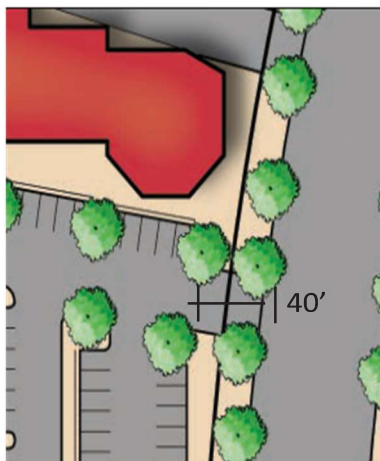
The commercial planning areas shall be designed to allow for the safe and convenient movement of pedestrians, bicycles and vehicles within the Specific Plan area and to adjacent off-site uses. Special attention should be paid to the impacts of visibility, massing and the height of buildings. Consider the following elements during site design:

- ▶ Orient buildings to establish positive relationships with adjacent streets;
- ▶ Locate buildings to frame and enclose interesting outdoor gathering spaces;
- ▶ Buffer service and loading areas from view of the street and adjacent residential uses where practical;
- ▶ Encourage individual parcels to make internal connections to adjoining commercial parcels that encourage walking instead of driving;
- ▶ Buildings should have a strong presence and encourage activity along the street frontage;
- ▶ Buildings shall be oriented for energy efficiency (e.g., capture day lighting, minimize heat gain, take advantage of prevailing breezes for natural ventilation);
- ▶ Significant elements, such as clearly defined public entrances,
- ▶ relate to the pedestrian scale.; and
- ▶ Provide well-defined pedestrian connections from the parking areas to building entrances.



Plazas and Walkways Between Buildings

PARKING LOTS



Parking Lot Entry Orientation Detail

Parking lot design is a critical factor in the success of a commercial use. Both the visual appearance and the organization of the parking lot shall be considered and incorporate the following:

- ▶ Design parking lots so vehicles within a parking area will not have to enter a street to move from one location to another within the same site;
- ▶ Design parking lots so that all vehicles will exit from the property traveling in a forward direction;
- ▶ Use landscape areas, walkways and plazas to reduce the visual impact of large surface parking lots;

Safe Queuing Distances



Shaded Dining Plazas and Meeting Spaces

- ▶ Minimize the number of entrances and exits to reduce conflicts at entries and lessen possible congestion at street intersections;
- ▶ Design driveways and parking lots to accommodate sufficient vehicular stacking during peak areas; and
- ▶ Where feasible, design drive aisles that are perpendicular to the main building.

GATHERING SPACES/SITE AMENITIES

Gathering spaces within commercial areas promote a vibrant and interactive environment for residents, employees and visitors. These common use areas include, but are not limited to, plazas, outdoor eating areas, building entry forecourts and courtyards. These spaces provide opportunities for activities such as outdoor eating, reading, casual meetings and small group gatherings.

ARCHITECTURAL DESIGN



Identifiable Signage on Commercial Buildings

Commercial development requires well-designed buildings with a focus on image and identity. Strong entry treatments, exceptional visitor access, attractive landscaping and clear graphics and signage are important elements to further enhance the aesthetic quality of commercial development. Plazas and courtyards shall be incorporated on-site to provide visual interest, as well as outdoor eating and gathering spaces for employees and visitors:

- ▶ Avoid monolithic masses of singular form, height, wall plane or material;
- ▶ Articulate entry statements for pedestrian/user identification;



Vary building form, height and textures to create visual interest and pedestrian scale.

- ▶ Detail buildings with banding, architectural details, textures, color variation and/or offset massing if only one material is used;
- ▶ Provide shadow articulation and scale to building elevation through projections, overhangs and recesses;
- ▶ Articulate forms shall be created with layered wall plains, banding, architectural details and/or materials;
- ▶ At least two of the following techniques shall be used to enhance building architecture and reduce overall mass;
 - Color variation (minimum of three colors),
 - At least three different materials,
 - Change in texture,
 - Vertical/horizontal wall plane projections/recesses (minimum 2-foot offset),
 - Variation of roofline (height or form),
 - Revealed pilasters,
 - Architectural elements significantly different from main building in mass or height,
 - Trellis or awning element (proportional to massing of building),
 - Balconies, or
 - Aesthetic window groupings or treatments.



Façade Treatment Examples

Roofs should be designed for functionality and enhance/complement the overall architectural design of the building. The following design elements shall be considered:

- ▶ Integrate form and materials with the overall design vocabulary of the development;
- ▶ Use fascia and/or cornice elements that are consistent with the primary design; and
- ▶ Use contiguous parapets, where appropriate, and incorporate side/rear elevation returns to eliminate false front/unfinished appearance.
- ▶ Avoid a “box-like” appearance by providing varying elevations to break up horizontal mass of building.

SERVICE AND LOADING AREAS

Appropriate loading and service areas shall be provided for each building/ tenant. Loading and service areas shall be located on the side or rear of the building and away from adjacent residential uses. Shielding the loading/ services areas by the use of walls, berms or landscape shall be employed to limit views from public streets. Refer to requirements as defined by GTMC Title 10.Article V “Stopping, Standing, and Parking.”

5.3 Other requirements for Commercial and Residential Land Uses

Art in Public Places

All Art in Public Places shall comply with the Art in Public Places requirements of Ordinance No. 343, Title 18 – Zoning, Chapter 18.81-Art in Public Places.

Common Area and Public Park Furniture

In addition to the amenities at the park including shade structures and sports fields, the park shall include furniture items such as picnic tables, benches and trash receptacles.

- ▶ Furniture elements shall be visually pleasing using splashes of color that echo the community theme.
- ▶ Park furniture shall be easily accessible, visible and functional to users.
- ▶ Furniture shall be implemented in an area of prolonged use such as picnic areas and under shade structures.
- ▶ Public art and or statues.



Community Recreational Equipment



Bench Seating to be Made Available in Common Recreational Areas

Mechanical Equipment and Meters

When possible, mechanical equipment for adjacent units shall be arranged into groupings. Mechanical equipment and meters shall be visually concealed and designed to the extent possible to not detract from the architecture of a building and shall adhere to the following:

- ▶ Shall not be mounted on, or attached to, any sloped roof;
- ▶ When mounted on flat roofs, mechanical equipment shall be completely screened by parapet walls at least as tall as the equipment screened;
- ▶ Screen walls and electrical enclosures shall be designed integral to the project's architecture;
- ▶ Electrical transformers shall be screened per the utility company's specifications and shall be wrapped to be disguised with the landscape; and
- ▶ All fire risers and fire-related plumbing shall be installed in a fire riser cabinet or meter cabinet.

Trash Storage and Enclosures

Provide trash enclosures to accommodate the numbers and types of trash containers needed. These enclosures shall be positioned in convenient areas.

Construct trash enclosures in a style and wall finish that is consistent with the overall architectural character of the development. In addition the following details shall be adhered to:

- ▶ Equip trash enclosures with complementary gates of durable construction, hinged to self-supporting steel posts and a roof.
- ▶ Ensure trash enclosure area has safety lighting.
- ▶ Provide three-foot wide planter buffer between trash enclosure and parking stalls.
- ▶ Trash containers for single-family residential must be stored behind fences or walls on private property during non-pick up days.
- ▶ Trash enclosures shall be shielded using block walls or other decorative material and should be a minimum of six feet in height. Decorative material required, block wall, six-foot high minimum.
- ▶ Trash enclosures are required for all multi-family, condo, townhome, or clustered development, and required for all commercial uses
- ▶ Private bins for single-family residential and duplex living units.

5.4 Landscape

Landscape Guidelines

Landscape design within The Gateway at Grand Terrace Specific Plan area shall be subject to the standards and requirements set forth in the GTMC Section 15.56 Water Efficient Landscape.

The community character is enhanced through appropriate plant selection including the following:

- ▶ Emphasize the planting of large shade canopy evergreen trees in formal and informal groupings throughout the community;
- ▶ Use non-invasive drought tolerant plants that are climate-appropriate;
- ▶ Select and install street trees and trees planted near walkways or street curbs to prevent damage to sidewalks, curbs, gutters, and other improvements. Use root barriers where appropriate;
- ▶ Require service lines, traffic safety sight line requirements, and structures on adjacent properties to avoid conflicts both at the time of planting and as trees and shrubs mature;
- ▶ Select and place plants to encourage plant texture as a major design element. The use of contrasting textures or mass planting of extremely bold or fine plant material is preferred;
- ▶ Separate publicly-maintained areas with a walkway, curb, or mow strip when adjacent to private property;
- ▶ Use decorative gravel, decomposed granite, boulders, and similar materials as a texture and design element; size material suitable to remain in place after installation.



Drought-Resistant Landscape Materials



Drought-Resistant Plants Used for Landscaping

Landscaped areas should be appropriate to the scale, orientation and purpose of the area; promoting walkability and pedestrian comfort, while strengthening the aesthetic character of the community. See **Figure 5.4-1: Conceptual Landscape Diagram** below for the overall conceptual landscaping within the Specific Plan area. Landscaping used to accentuate key community characteristics shall include the following:

- ▶ Plant accent shrubs to highlight unit entries;
- ▶ Feature a cohesive and thematic mixture of trees, shrubbery and ground covers with different shapes, textures and colors;
- ▶ Size and place trees and plant material appropriate to the size of planters;
- ▶ Consider opportunities for summer shade and sunlight penetration; and
- ▶ Screen and buffer undesirable views.



Large Canopy Shade Trees to be Used Throughout the Plan Area

Figure 5.4-1: Conceptual Landscape Diagram



Legend

-  Gateway Specific Plan Boundary
-  Sports Field
-  Open Space
-  Open Space - Easement

Residential Landscape

Within the residential area, a network of pedestrian amenities and pathways can create unique spaces throughout the area. The pathways provide connections to open space, pocket parks, and community recreation amenities. Thematic furniture, shade amenities and planting support the community aesthetic. Where possible, provide resting spaces at regular intervals to enhance the pedestrian experience for users of all ages and abilities. These spaces shall:

- ▶ Encourage socialization and physical activity by providing both active and passive activities within a cohesive network of open space;
- ▶ Be designed to be large enough to be usable, intimate and safe, however not so large as to appear empty or barren;
- ▶ Provide linking pathways; and
- ▶ Create event areas that can host community activities.



Shaded Common Areas



Residential Landscape and Gathering Spaces

RESIDENTIAL ALLEYS

Alleys shall include landscaped areas on both sides of the lane adjacent to selected garages subject to the following options:

- ▶ Option A: When a planter is greater than 24 inches deep (24-inch minimum depth), provide a vertical shrub and foundation planting.
- ▶ Option B: For long linear foundation planters, provide either a vertical vine with support or a vertical shrub at garages, depending on planter depth. Additional plant material should fill the remainder of the planter.



Residential Alley Examples

Commercial Landscape

Landscaping in the commercial areas will help soften the feel of the buildings and parking lots while enhancing the visual aspect of the Specific Plan area. The commercial uses should contain landscape elements and plantings that complement the overall Specific Plan landscape theme. The following landscaping techniques shall be used:

- ▶ Apply enhanced landscaping treatments at all project and building entries;
- ▶ Provide shade/canopy evergreen trees within the parking areas and landscape planters at the end of parking rows;
- ▶ Implement landscapes that require little irrigation through the use of drought-tolerant and native vegetation; and

- Use plants to define outdoor spaces such as edges, outdoor plazas, or pedestrian paths between parking and building entrances.

See **Table 5.4-1: Commercial Landscape Requirements** below.

Table 5.4-1: Commercial Landscape Requirements

The following open space and landscaping requirements shall apply to new Commercial development within the Grand Terrace Specific Plan.

Requirement	Minimum
Landscape Lot Coverage	15% of lot not covered by building or parking shall be useable open space (e.g., public plazas, seating nodes, outdoor dining, pedestrian pathways).

Plant Palette

The Plant Palette for the Specific Plan was selected to complement and enhance the setting of the community, while ensuring water resources conservation. **Table 5.4-2: Streetscape Palette** and **Table 5.4-3: Master Plant List** below outline the approved plants, trees, and shrubs and establish a base palette for the landscape design in the Specific Plan.

Table 5.4-2: Streetscape Palette	
BOTANICAL NAME	COMMON NAME
CANOPY	
<i>Ulmus parvifolia</i> 'Drake'	'Drake' Chinese Elm
<i>Tristania conferta</i>	Brisbane Box
<i>Tabebuia impetiginosa</i>	Pink Trumpet Tree
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Fraxinus uhdei</i> 'Majestic Beauty'	Majestic Beauty Evergreen Ash
<i>Geijera parviflora</i>	Australian Willow
<i>Pistacia Chinensis</i>	Chinese Pistache
<i>Magnolia grandiflora</i> 'D.D. Blanchard'	Southern Magnolia
<i>Podocarpus gracilior</i>	Fern Pine
<i>Ulmus parvifolia</i> 'True Green'	Evergreen Elm
SKYLINE	
<i>Tristania conferta</i>	Brisbane Box
<i>Grevillea robusta</i>	Silk Oak
<i>Phoenix dactylifera</i>	Date Palm*
<i>Washingtonia robusta</i>	Mexican Fan Palm*
UNDERSTORY	
<i>Ulmus parvifolia</i> 'Drake'	'Drake' Chinese Elm
<i>Arbutus</i> 'Marina'	Strawberry Tree

Table 5.4-2: Streetscape Palette

BOTANICAL NAME	COMMON NAME
<i>Citrus sinensis</i>	Orange Tree
<i>Chitalpa tashkentensis</i> ‘Morning Cloud’	Chitalpa
<i>Lagerstroemia</i> (Species)	Crape Myrtle
SCREEN - TREES	
<i>Cercidium hybrid</i> ‘Desert Museum’	Hybrid Palo Verde
<i>Citrus sinensis</i>	Orange Tree
<i>Eucalyptus sideroxylon</i> ‘Rosea’	Pink Iron Bark
<i>Geijera parviflora</i>	Australian Willow
<i>Pinus eldarica</i>	Mondell Pine
<i>Rhus lancea</i>	African Sumac
<i>African Sumac</i>	Brisbane Box
<i>Ulmus parvifolia</i> ‘Drake’	‘Drake’ Chinese Elm
SCREEN - SHRUBS	
<i>Agave</i> ‘Blue Flame’	Blue Flame Agave
<i>Agave desmettiana</i> ‘Variegata’	Variegated Dwarf Century Plant
<i>Agave weberi</i>	Weber’s Century Plant
<i>Aloe arborescens</i>	Tree Aloe
<i>Aloe vera</i>	Medicinal Aloe
<i>Baccharis</i> ‘Centennial’	Coyote Brush
<i>Bougainvillea</i> ‘Oh La La’	Bougainvillea
<i>Buxus microphylla japonica</i>	Japanese Boxwood
<i>Calamagrostis x acutiflora</i> ‘Karl Foerster’	Karl Foerster’s Feather Reed Grass
<i>Callistemon viminalis</i> ‘LittleJohn’	Dwarf Bottlebrush
<i>Carex praegracillis</i>	Western Meadow Sedge
<i>Chondropetalum tectorum</i>	Cape Rush
<i>Cotoneaster horizontalis</i>	Rock Cotoneaster
<i>Dianella tasmanica</i> ‘Silver Streak’	Silver Streak Flax Lily
<i>Galvezia speciosa</i> ‘Firecracker’	Firecracker Island Bush Snapdragon
<i>Hemerocallis</i> ‘Dwarf Red’	Day Lily
<i>Heteromeles arbutifolia</i>	Toyon
<i>Leucophyllum candidum</i> ‘Thundercloud’	N.C.N.
<i>Leymus condensatus</i> ‘Canyon Prince’	Canyon Prince Wild Rye
<i>Ligustrum japonicum</i> ‘Texanum’	Wax Leaf Privet
<i>Lomandra longifolia</i> ‘LM300’	Breeze Dwarf Mat Rush
<i>Miscanthus sinensis</i> ‘Morning Light’	Morning Light Maiden Grass
<i>Moraea bicolor</i>	Fortnight Lily
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Olea europaea</i> ‘Montra’ P.P.#6266	Little Ollie Dwarf Olive

Table 5.4-2: Streetscape Palette

BOTANICAL NAME	COMMON NAME
<i>Opuntia violacea</i> 'Santa Rita'	Santa Rita Prickly Pear
<i>Pennisetum</i> 'Fairy Tails'	Fairy Tails Fountain Grass
<i>Pittosporum tobira</i>	Tobira
<i>Raphiolepis indica</i>	Indian Hawthorne
<i>Rosa f.</i> 'Angel Face'	Lavender Shrub Rose
<i>Rosa x</i> 'Noare'	Flower Carpet Red Groundcover Rose
<i>Strelizia reginae</i>	Bird-of-Paradise
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Westringia</i> 'Wynyabbie Gem'	Coast Rosemary
<i>Xylosma congestum</i>	Xylosma
<i>Yucca recurvifolia</i>	Pendulous Yucca
SCREEN - VINES & ESPALIERS	
<i>Ficus pumila (repens)</i>	Creeping Fig
<i>Rosa hybrid</i> 'Blaze'	Climbing Rose (Red)
STREETSCAPE GROUND COVER	
<i>Gazania splendens</i> 'Sunrise Yellow'	Yellow Gazania
<i>Lonicera japonica</i> 'Halliana'	Japanese Honeysuckle
<i>Myoporum parvifolium</i>	N.C.N
<i>Vinca minor</i>	Dwarf Periwinkle
* Palms are not permitted to use as public street/skyline trees.	

Table 5.4-3: Master Plant List

BOTANICAL NAME	COMMON NAME
TREES	
<i>Arbutus</i> 'Marina'	Strawberry Tree
<i>Cedrus deodara</i>	Deodar Cedar
<i>Cercidium hybrid</i> 'Desert Museum'	Hybrid Palo Verde
<i>Chitalpa tashkentensis</i> 'Morning Cloud'	Chitalpa
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Citrus sinensis</i>	Orange Trees
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Cupressus sempervirens</i>	Italian Cypress
<i>Eucalyptus sideroxylon</i> 'Rosea'	Pink Iron Bark
<i>Fraxinus uhdei</i> 'Majestic Beauty'	Majestic Beauty Evergreen Ash
<i>Geijera parviflora</i>	Australian Willow
<i>Gleditsia t. inermis</i> 'Shademaster'	Honey Locust
<i>Grevillea robusta</i>	Silk Oak
<i>Jacaranda mimosifolia</i>	Jacaranda

Table 5.4-3: Master Plant List

BOTANICAL NAME	COMMON NAME
<i>Lagerstroemia (Species)</i>	Crape Myrtle
<i>Magnolia grandiflora</i> ‘D.D. Blanchard’	Southern Magnolia
<i>Olea europaea</i>	Olive
<i>Pinus eldarica</i>	Mondell Pine
<i>Podocarpus gracilior</i>	Fern Pine
<i>Pyrus calleryana</i> ‘Chanticleer’	Chanticleer Pear
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus ilex</i>	Holly Oak
<i>Rhus lancea</i>	African Sumac
<i>Schinus molle</i>	California Pepper Tree
<i>Strelitzia nicholai</i>	Giant Bird-of-Paradise
<i>Tipuana tipu</i>	Tipu Tree
<i>Tristania conferta</i>	Brisbane Box
<i>Ulmus parvifolia</i> ‘Drake’	‘Drake’ Chinese Elm
<i>Ulmus parvifolia</i> ‘True Green’	Evergreen Elm
<i>Zelkova serrata</i> ‘Halka’	Sawleaf Zelkova
PALMS	
<i>Note: Palms are not permitted to use as public street/skyline trees</i>	
<i>Brahea armata</i>	Mexican Blue Fan Palm
<i>Chamaerops humilis</i>	Mediterranean Fan Palm
<i>Phoenix dactylifera</i>	Date Palm
<i>Syagrus romanzoffianum (Arecastrum)</i>	Queen Palm
<i>Washingtonia robusta</i>	Mexican Fan Palm
<i>Agave</i> ‘Blue Flame’	Blue Flame Agave
<i>Agave desmettiana</i> ‘Variegata’	Variegated Dwarf Century Plant
<i>Agave vilmoriniana</i>	Octopus Agave
<i>Agave weberi</i>	Weber’s Century Plant
<i>Aloe arborescens</i>	Tree Aloe
<i>Aloe vera</i>	Medicinal Aloe
<i>Baccharis</i> ‘Centennial’	Coyote Brush
<i>Bougainvillea</i> ‘Oh La La’	Bougainvillea
<i>Buxus microphylla japonica</i>	Japanese Boxwood
<i>Calamagrostis x acutiflora</i> ‘Karl Foerster’	Karl Foerster’s Feather Reed Grass
<i>Callistemon viminalis</i> ‘LittleJohn’	Dwarf Bottlebrush
<i>Carex praegracilllis</i>	Western Meadow Sedge
<i>Chondropetalum tectorum</i>	Cape Rush
<i>Cotoneaster horizontalis</i>	Rock Cotoneaster
<i>Dianella tasmanica</i> ‘Silver Streak’	Silver Streak Flax Lily

Table 5.4-3: Master Plant List

BOTANICAL NAME	COMMON NAME
<i>Galvezia speciosa</i> 'Firecracker'	Firecracker Island Bush Snapdragon
<i>Hemerocallis</i> 'Dwarf Red'	Day Lily
<i>Heteromeles arbutifolia</i>	Toyon
<i>Ilex crenata</i> 'Sky Pencil'	Sky Pencil Ilex
<i>Leucophyllum candidum</i> 'Thundercloud'	N.C.N.
<i>Leymus condensatus</i> 'Canyon Prince'	Canyon Prince Wild Rye
<i>Ligustrum japonicum</i> 'Texanum'	Wax Leaf Privet
<i>Lomandra longifolia</i> 'LM300'	Breeze Dwarf Mat Rush
<i>Miscanthus sinensis</i> 'Morning Light'	Morning Light Maiden Grass
<i>Moraea bicolor</i>	Fortnight Lily
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Olea europaea</i> 'Montra' P.P.#6266	Little Ollie Dwarf Olive
<i>Opuntia violacea</i> 'Santa Rita'	Santa Rita Prickly Pear
<i>Pennisetum</i> 'Fairy Tails'	Fairy Tails Fountain Grass
<i>Pittosporum tobira</i>	Tobira
<i>Raphiolepis indica</i>	Indian Hawthorne
<i>Rosa</i> f. 'Angel Face'	Lavender Shrub Rose
<i>Rosa</i> x 'Noare'	Flower Carpet Red Groundcover Rose
<i>Russelia equisetiformis</i>	Coral Fountain
<i>Strelizia reginae</i>	Bird-of-Paradise
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Westringia</i> 'Wynyabbie Gem'	Coast Rosemary
<i>Xylosma congestum</i>	Xylosma
<i>Yucca recurvifolia</i>	Pendulous Yucca
VINES & ESPALIERS	
<i>Ficus pumila</i> (repens)	Creeping Fig
<i>Rosa hybrid</i> 'Blaze'	Climbing Rose (Red)
GROUND COVER	
<i>Gazania splendens</i> 'Sunrise Yellow'	Yellow Gazania
<i>Lonicera japonica</i> 'Halliana'	Japanese Honeysuckle
<i>Myoporum parvifolium</i>	N.C.N
<i>Vinca minor</i>	Dwarf Periwinkle

5.5 Placemaking



Common Leisure and Eating Areas

The Specific Plan location offers an opportunity for the City of Grand Terrace to make a statement and introduce a new gateway into the City. In order to do so, a defined sense of place, active with people and visual vibrancy is important. Placemaking is the act of creating a connection between people and places which can be done through design, planning, landscape and architecture. The Specific Plan area is envisioned to embrace a mix of uses including public open spaces, residential homes and commercial uses. With new residential at the heart of the Specific Plan area, residents will be encouraged to engage in uses around them including parks and retail.

Landscape design should be used as a strong placemaking element to promote the aesthetic character and value of the community by defining, unifying and enhancing the pedestrian realm and to create a strong, cohesive identity. An attractive and unified community appearance not only increases a sense of pride in residents, but creates a positive climate for business and makes a positive impression on visitors.

Use and repetition of consistent design concepts and details reinforce the distinct character of various features paired with a native or regionally-adapted planting palette suitable to the climate and conditions of the area.

Streets shall be designed to be enjoyable, walkable, and interactive to pedestrians. Interior streetscapes shall be designed to provide a cohesive element tying the community together as a whole. Trees shall be strategically located so as not to interfere with driving visibility.

Wall treatments will be apparent and distinct with decorative pilasters accentuated by selected accent trees and plants for visual impact. Other features such as signage will help enhance the Specific Plan area and truly make it a unique part of Grand Terrace.

It is also important to achieve contrast between plant species. The contrast can be in color (green to red), form (spiky to hedged), texture (lacy to static), or color value (dark to light). The eye shall be able to easily see the difference in the shrub massing.

The following Placemaking strategies shall be utilized in the design:

- ▶ Foster a healthy outdoor lifestyle that considers both physical and spiritual health in the manner that it is designed;
- ▶ Promote a sense of arrival that one has just entered somewhere special;
- ▶ Announce the community's presence and identity with unique features and landscape treatments;
- ▶ Provide well-thought-out and sensitive community edges;
- ▶ Recognize that trees are "a valuable resource" that over time will have an increasingly positive impact when planned properly;

- ▶ Design horticulturally compatible landscape in its setting while striving to be environmentally sensitive; and
- ▶ Include site features, such as bicycle racks, recycling bins, planters, and benches as an integral part of the design.

Monumentation

The City of Grand Terrace's image can be reinforced by a carefully-placed and well-designed gateway at its primary entrance to the City. Although special in its own right because it is a gateway to the City, the gateway will be part of the identifying element for the Specific Plan area and will contribute to the unifying effect of the overall plan area. The gateway should contain materials that are consistent with the remainder of the community theme while establishing a sense of arrival. This gateway can include a large freeway-oriented sign, identifying the City of Grand Terrace and can include an electronic reader board that the City or property owner could manage advertising on.

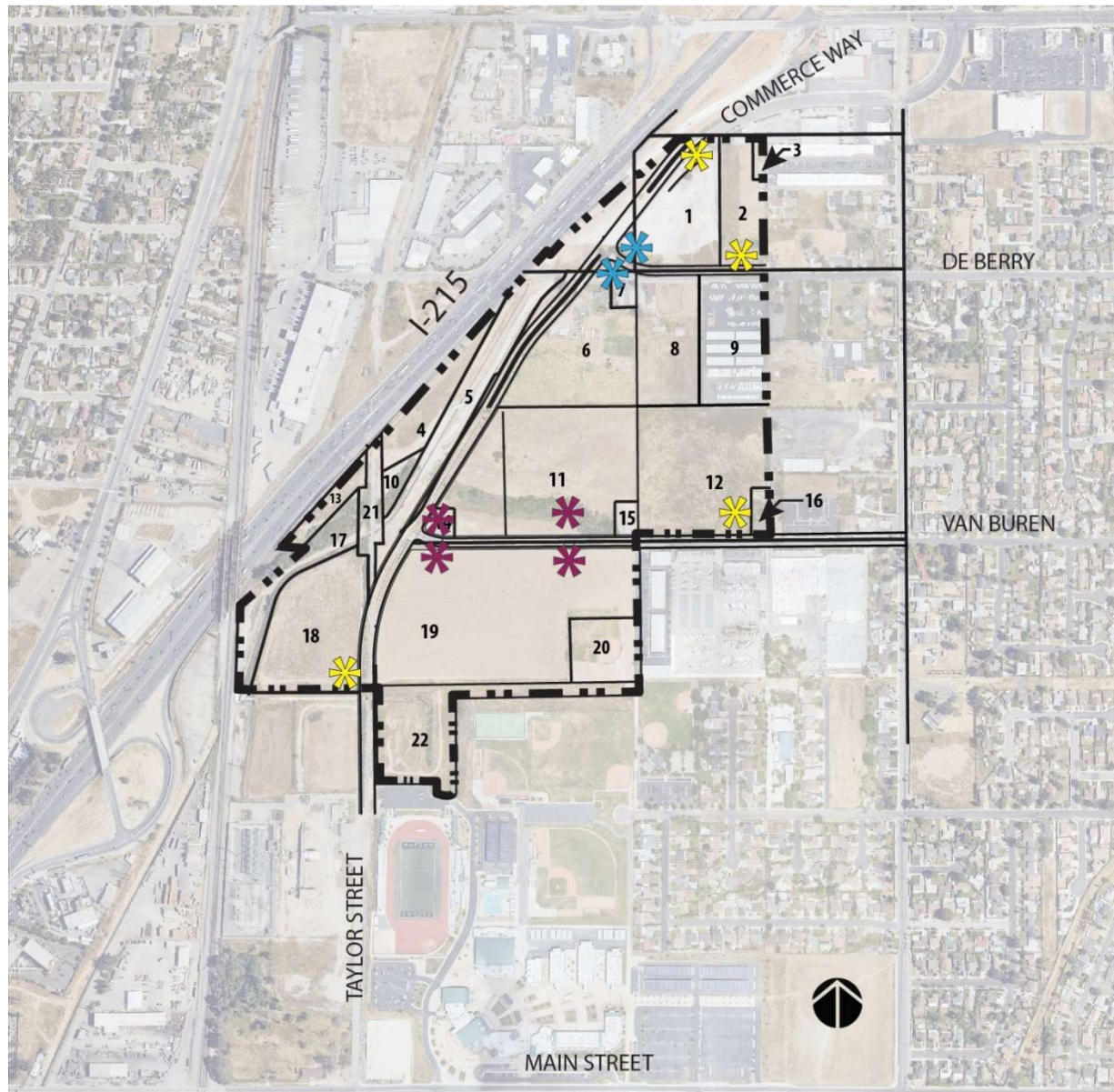
Community Monumentation

Monumentation throughout the Specific Plan area should be used as identifying and wayfinding elements as well as visual pops along the streetscape. Gateway obelisks should serve the same purpose yet be higher than the monuments so that the obelisks can be seen from a distance. Refer to **Figure 5.4-1: Conceptual Landscape Diagram**, **Figure 5.5-1: Conceptual Community Monumentation Plan**, and **Figure 5.5-2: Community Monumentation Concepts**.

Requirements for community monumentation include:

- ▶ Locate monuments in strategic locations to provide clear identification.
- ▶ Design monuments with visual cohesiveness throughout the Specific Plan area, adding to the overall aesthetic theme.
- ▶ Place gateway obelisks at the portals of the Specific Plan area.
- ▶ Share design elements and/or colors between the monuments and obelisks to celebrate the Specific Plan visual theme.

Figure 5.5-1: Conceptual Community Monumentation Plan



Legend

-  Gateway Specific Plan Boundary
-  Community Obelisk
-  Commercial Entry Monument
-  Neighborhood Entry Monument

Figure 5.5-2:Community Monumentation Concepts



Conceptual Community Obelisk



Conceptual Horizontal Community Monument



Directional/Wayfinding Example/



Lighting Examples

Directional Signs and Wayfinding

Controlled wayfinding and identity signs are also a major factor in creating and preserving the design character of the overall community. Although primarily for informational and wayfinding purposes, signage like landscape can help create unifying elements throughout the community and enhance community identity.

Community directional signs facilitate the flow of traffic and are typically horizontal signs with individual tenant or residential community names and directional arrows. Requirements for community directional signs include:

- ▶ Place vehicular directional signs at strategic locations to act as wayfinding and identity markers.
- ▶ To avoid confusion, use no more than six listings on directional signs.
- ▶ Maintain sight lines with the placement of directional signs.
- ▶ If appropriate, use a project name or logo on the sign.

Urban Lighting Design

Urban lighting is another unifying element for the Specific Plan area. Urban lighting includes lighting for parking areas, pedestrian walkways, architectural and landscape features and provides for safety, security, and ambiance.

Lighting shall provide a soft wash of light over illuminated objects, such as monumentation. Hierarchy should be established by using a variety of lighting fixtures and illumination levels based on lighting design intent.

A Comprehensive lighting plan shall be prepared and approved in conjunction with the site plans submitted for approval to the City of Grand Terrace. Requirements for urban lighting design shall adhere to the following:

- ▶ Exterior lighting shall be located and designed to minimize direct glare outside of the specific area;
- ▶ Lighting sources shall be shielded, diffused, or indirect in order to avoid glare to pedestrians and motorists;
- ▶ Light standards within the public right-of-way used for lighting the sidewalks and streets are designed to be 24 feet in height;

- ▶ Pedestrian paths that are separate from sidewalks shall be lighted by pole, string lights, directed uplighting, urban art or bollard-type fixtures. These elements shall be pedestrian-scaled, typically limited to a maximum height of 18 feet for pole lights (including the base), or six feet for bollards; and
- ▶ Key site amenities and pedestrian “wayfinding” elements shall also employ lighting the landscape in the form of trees and palm uplighting and backdrop lighting technique.
- ▶ Lighting should be used to enhance architectural elements.

Community Pageantry

Community pageantry includes: flags, banners, canopies, directories, ground-mounted graphics, flowerpots or other similar, temporary or permanent (but changeable) elements. The intent is to allow regular changes to the pageantry elements in terms of color, design and other visual content so the pageantry can always look current. Pageantry shall be located within the right-of-way, within the setback, or on private property. Pageantry shall not include:

- ▶ Advertising;
- ▶ Paper, cardboard, Styrofoam, stickers, and decals; or
- ▶ Flashing, flickering, rotating, or moving lights.

A. Temporary Decorations

Temporary graphics and decorations for a holiday season which do not advertise merchandise or services are permitted, provided that such graphics and decorations are installed not more than 30 days before the holiday or holiday season and removed not later than 15 days after the holiday or a holiday season. Any temporary decorations placed within the public right-of-way shall be approved by the City.

B. Street Furniture

Design and placement of street furniture within the Specific Plan area shall include but not be limited to benches, barbecues, picnic tables, chairs, tables, gazebos and refuse receptacles. These shall be approved through the City of Grand Terrace’s design review process.

All street furniture shall be selected from a standard furniture catalogue but customized for use in the area. All street furniture elements will be compatible with and will enhance the landscape and Specific Plan area theme. Artwork, statues, and installations may be used to enhance public space.



Pageantry Example



Lighting Example



Colorful elements along streetscapes.

Streetscapes

The streetscape will be composed of a number of different types of plants and trees based on the characteristic of the street. For example, Commerce Way should have a different landscape arrangement than collector streets, however all streetscape design shall consist of unifying elements that create a cohesive theme while defining the hierarchy of the circulation system. Use of a bright color will become part of the theme and identity for The Gateway development. The same color will be repetitive on the benches, banners, signs and/or logo.

Streetscapes shall include the following tree categories:

Canopy Trees: The primary thematic trees with broad canopies for shade and walkability.

Vertical Structural Trees: Taller type trees that identify streets from further distance. Vertical structural trees help with scale when adjacent to tall buildings/structures and promote community identity and a sense of arrival.

Understory Trees: Smaller trees that provide a sense of pedestrian scale and can also be used as a “backdrop” element. Understory trees and shrub masses planted in series of tiered layering (foreground, mid-ground, and background) to help define borders and plant groupings while combining interesting foliage textures and color.

Background Trees: Background trees are pushed back from the street and add to the “buffer” between the curb and parking area, wall, or buildings. These trees are strategically planted behind sidewalks to help create a green backdrop supporting the street tree canopy. No palm trees with a height over 20 feet shall be permitted.

Refer to **Table 5.4-2: Streetscape Palette** and **Table 5.4-3: Master Plant List** for a plant palette that meets the streetscape criteria.

Streetscape landscape will be finalized during the Street Improvement phase.

A. Commerce Way

Commerce Way, a Secondary Highway, shall be designed as follows:

- ▶ Canopy trees are located in the parkway on both sides of the street at 25 feet on center; except adjacent to regional basins or between Van Buren and De Berry streets on the west side.
- ▶ A six-foot high wall shall be located in the setback at least eight feet back from the sidewalk. The wall should undulate and include pilasters. See **Figure 5.5-9: Conceptual Community Wall and Fence Diagram** and **Figure 5.5-10: Conceptual Community Wall and Fence Plan**.

Figure 5.5-3: Commerce Way Conceptual Landscape Diagram Section A* through **Figure 5.5-6: Commerce Way Conceptual Landscape Diagram Section D*** displays cross sections for commerce way, identifying roadway landscaping improvements planned for each section of the roadway.

Figure 5.5-3: Commerce Way Conceptual Landscape Diagram Section A*

**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

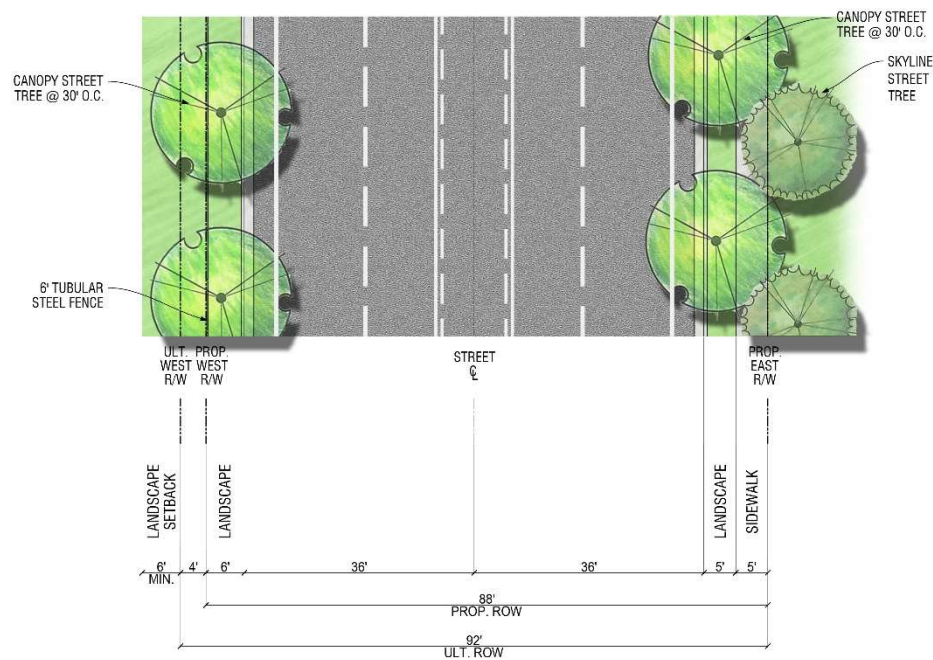
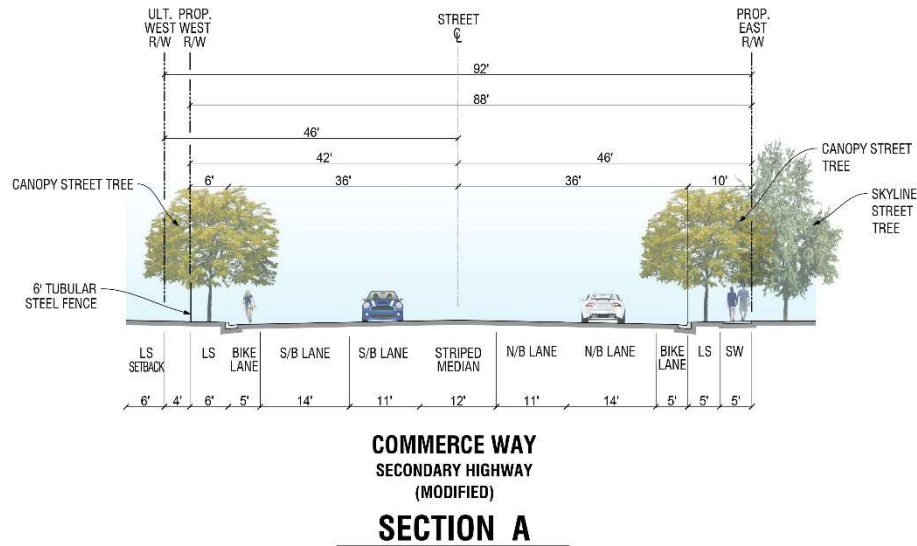


Figure 5.5-4: Commerce Way Conceptual Landscape Diagram Section B*

**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

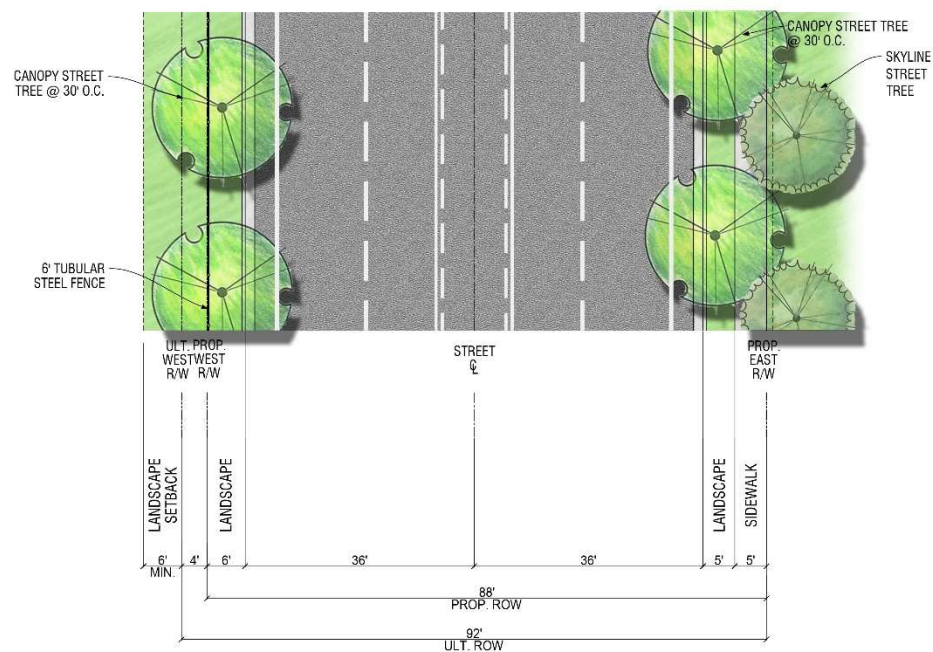
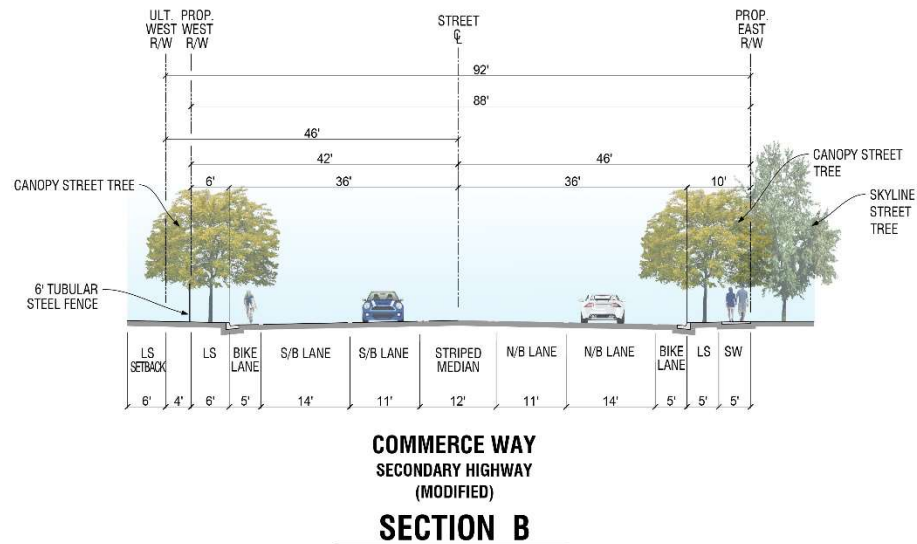


Figure 5.5-5: Commerce Way/Taylor Street Conceptual Landscape Diagram Section C*

**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

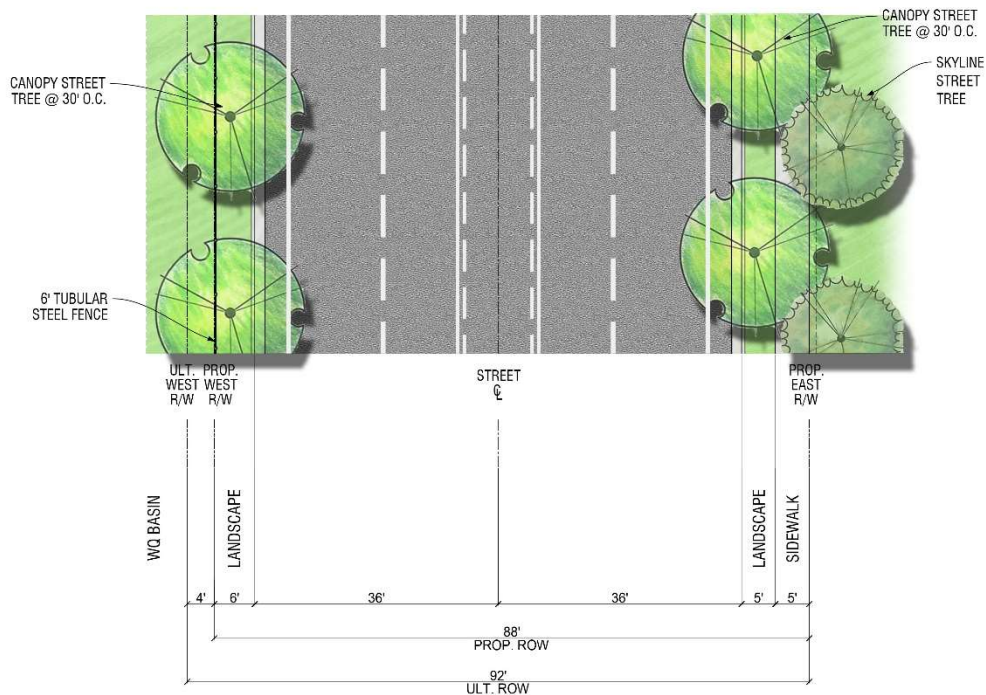
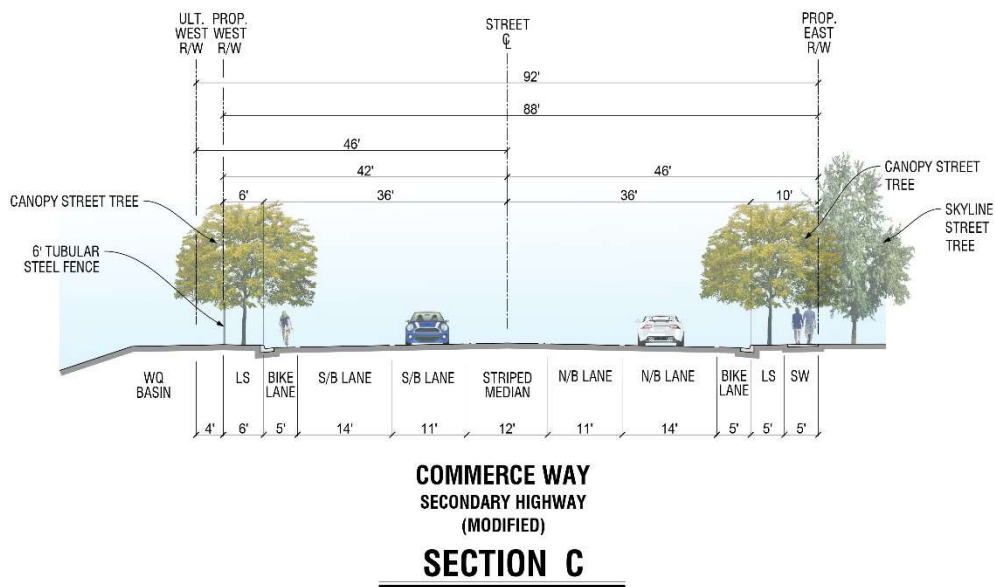
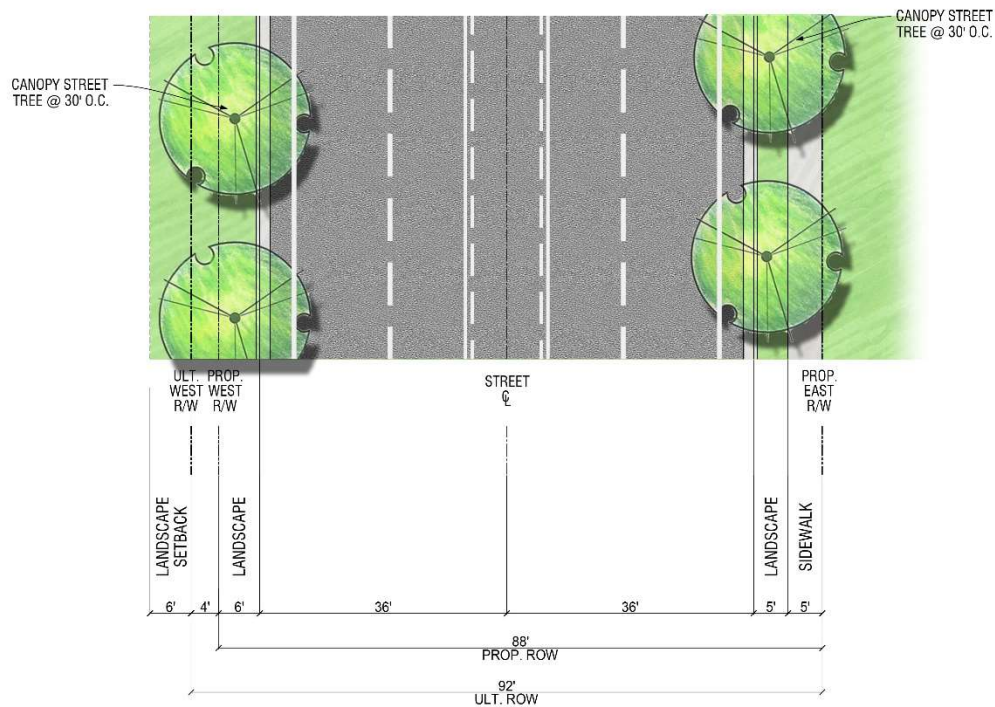
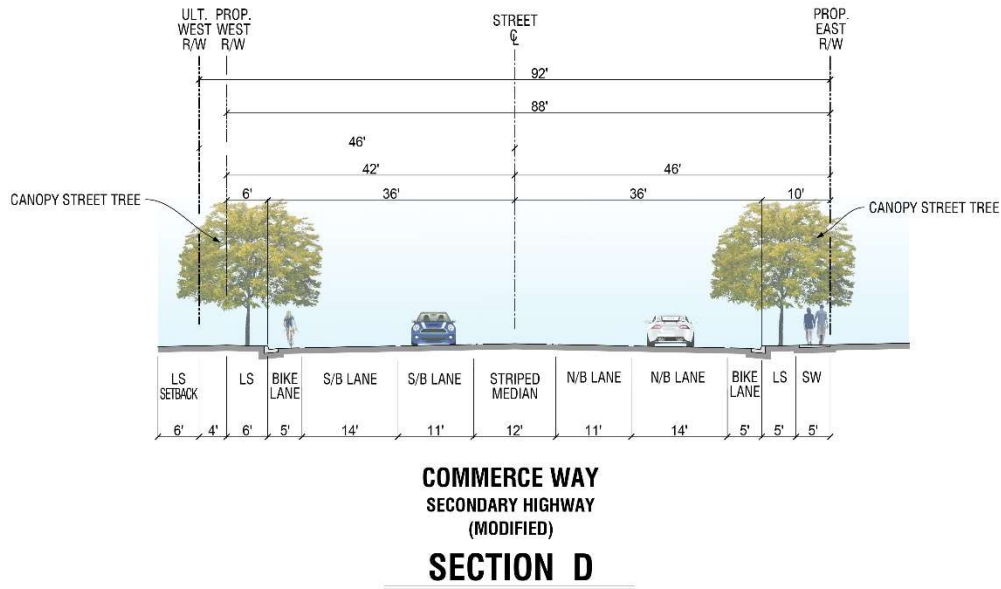


Figure 5.5-6: Commerce Way Conceptual Landscape Diagram Section D*

Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W



B. *Collector Streets- Van Buren Street and De Berry Street*

Collector streets shall contain the following characteristics to enhance the aesthetic and pedestrian experience:

- ▶ Formal row of large canopy trees, at approximately 30 feet on center, to provide shade and scale for the street and sidewalks alternating with understory trees also located at approximately 30 feet on center;
- ▶ The canopy tree species are specific to each street. This gives each street a unique character, while staying cohesive with the overall landscape theme and the additional foliage provides interest at the pedestrian level;
- ▶ Vertical structural trees placed at approximately 30 feet on center towards the back of the landscaped setback provide a formal rhythm to the street scene; and
- ▶ Shrubs and ground plane species should be selected for their bold textures, and contrasting colors should complement the street tree program.

Figure 5.5-7: Collector Streets Conceptual Landscape Diagram Section H* and **Figure 5.5-8: Collector Streets Conceptual Landscape Diagram Sections I and J*** displays cross sections for collector streets, identifying roadway landscaping improvements planned for each section of the roadway.

C. *Main Street*

Main Street, a Secondary Highway at the entry to the Specific Plan area, shall be designed as follows:

- ▶ Adjacent to commercial uses, skyline trees are evenly placed in the landscape setback every 50 feet. The vertical structural trees contribute to the overall aesthetic theme of the Specific Plan area.
- ▶ Canopy trees are planted in the landscape setback and in the parkway. They are sporadically placed and grouped at an average spacing of six trees for every 100 linear feet.
- ▶ New sidewalks are located on the north side of the street between the parkway and the landscape setback.
- ▶ Trees lining both the landscape setback and the parkway enable shade along the sidewalk as well as aesthetic interest enhancing the pedestrian experience.

Figure 5.5-7: Collector Streets Conceptual Landscape Diagram Section H*

**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*

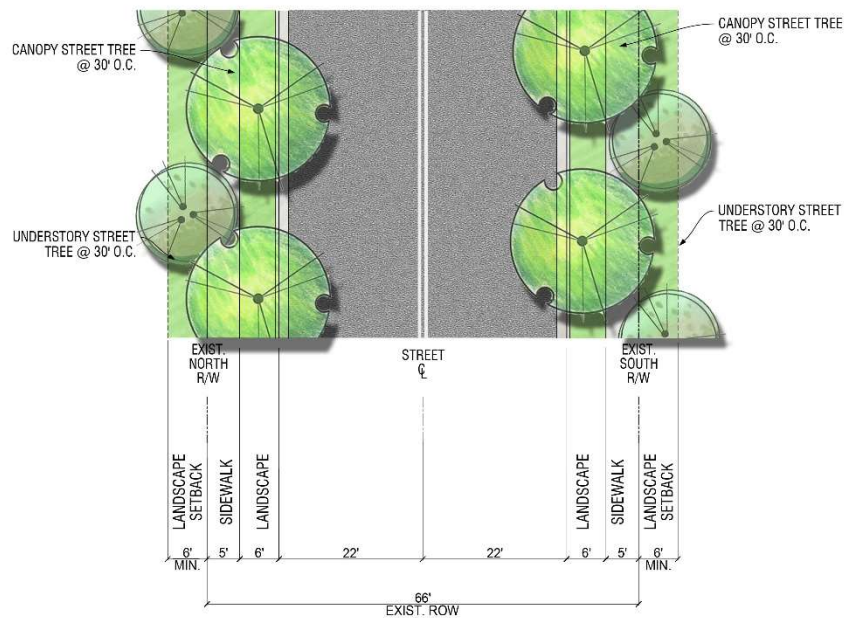
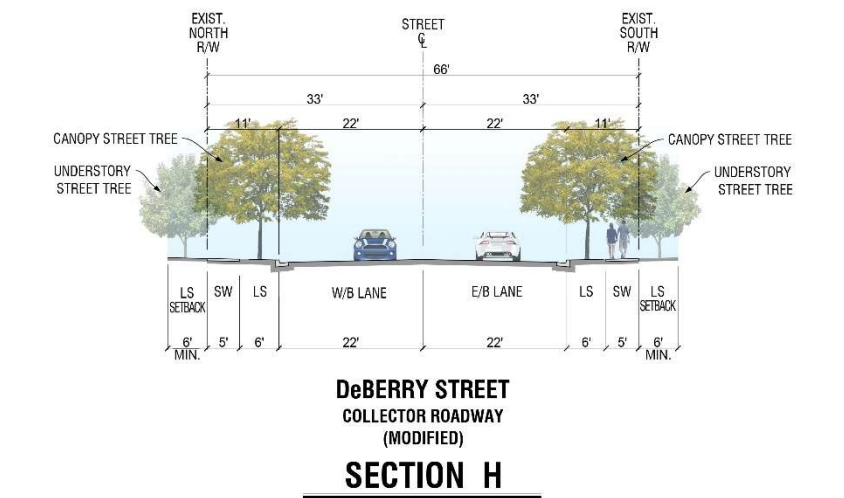
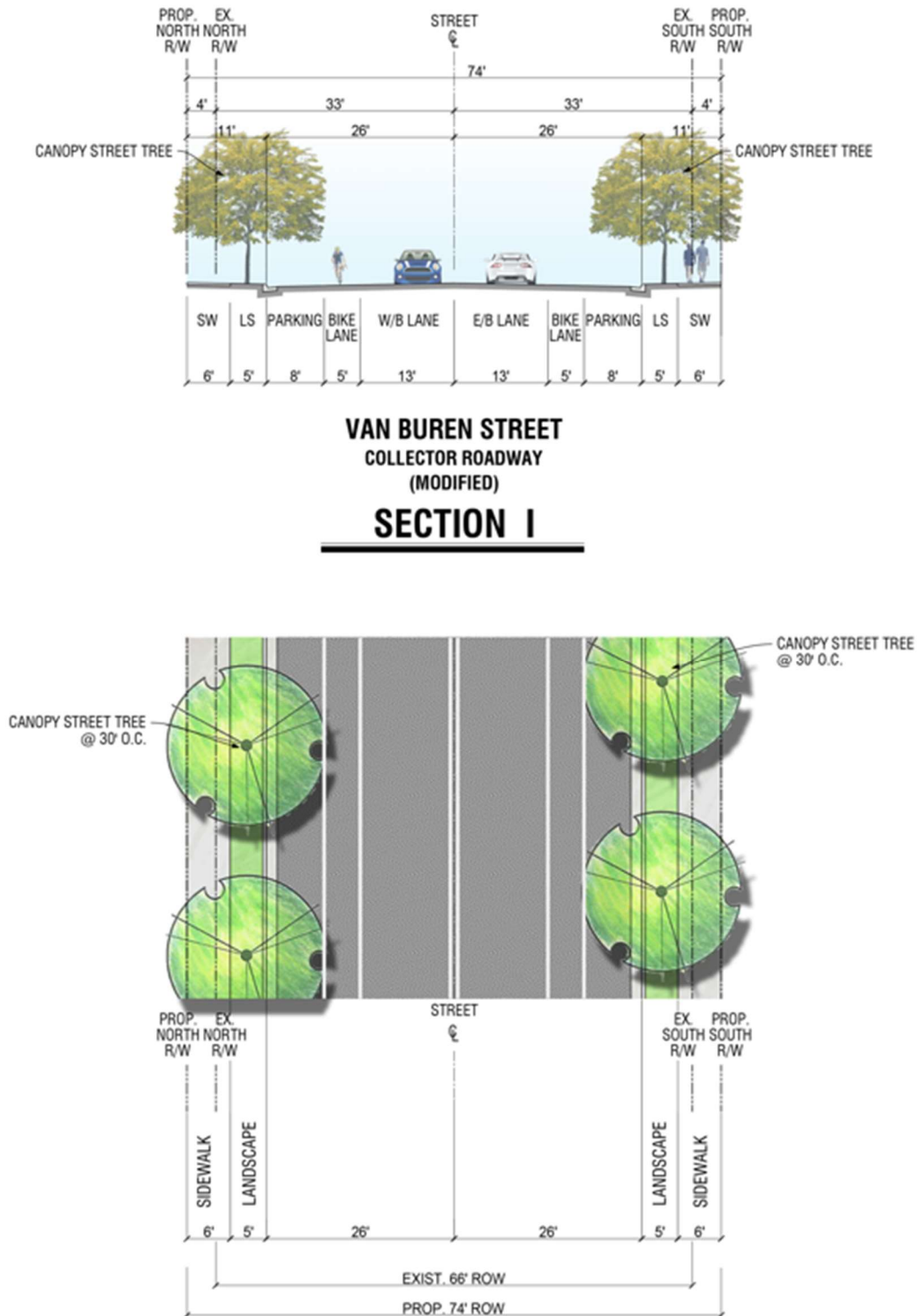
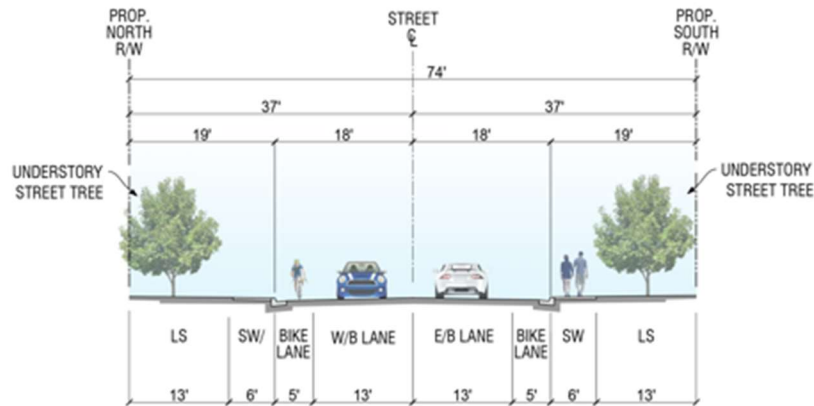


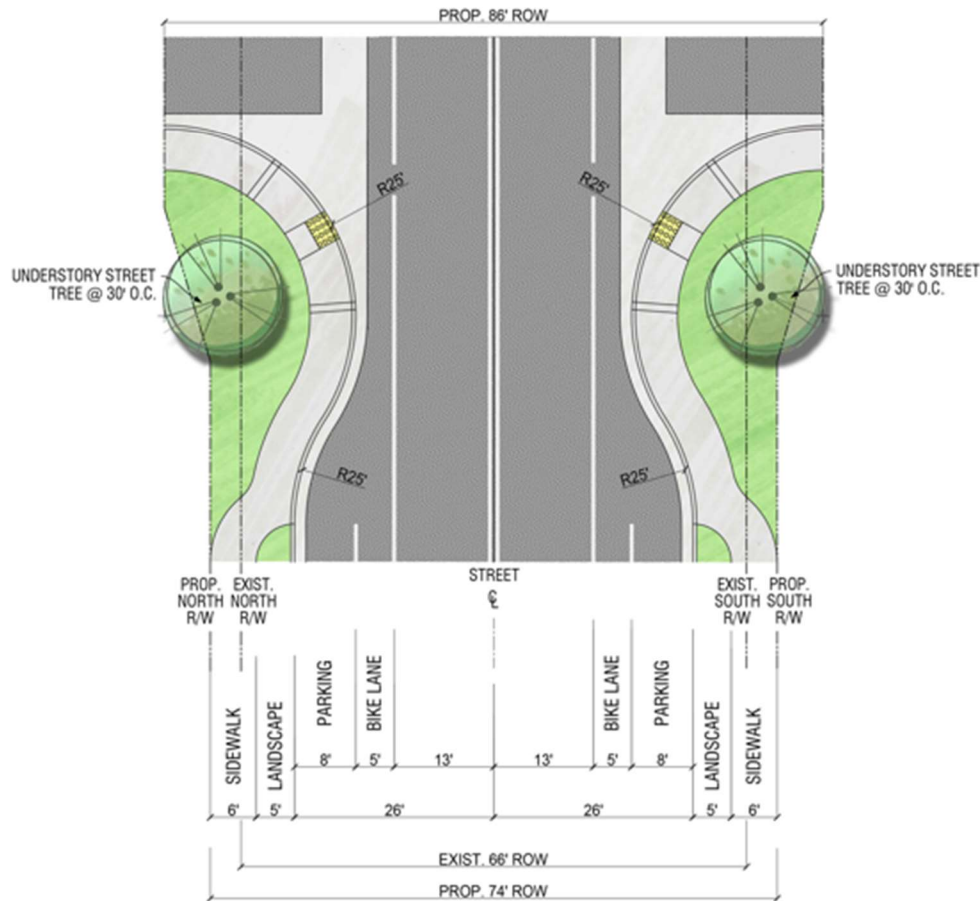
Figure 5.5-8: Collector Streets Conceptual Landscape Diagram Sections I and J*

**Ultimate R/W – Dedication by Others and Proposed R/W serves as Interim R/W*





VAN BUREN STREET
COLLECTOR ROADWAY
(MODIFIED)
SECTION J



Community Walls and Fencing

Walls and fences are another placemaking feature and can be used as integral community element to enhance landscape design and reinforce the thematic design appropriate to maintain pedestrian connectivity. Four types of walls and fences are allowed within the Specific Plan as identified in **Figure 5.5-8: Conceptual Community Wall and Fence Diagrams** and **Figure 5.5-9: Conceptual Community Wall and Fence Plan**.

Wall and fencing features shall:

- ▶ Use complementary wall and fence designs, materials, colors, and finishes while keeping the community design theme cohesive.
- ▶ Use complementary pilasters or other design elements to break up long stretches of walls and provide interest and rhythm.
- ▶ Utilize view fences along community open spaces wherever privacy or screening is not necessary.
- ▶ Provide openings or pedestrian connections at appropriate intervals.
- ▶ Be permitted where required to secure private spaces, parking, and amenities with regard for resident safety.
- ▶ Facilitate and encourage walking and bicycle use through the community and adjoining properties by established pathways adjacent to properties.
- ▶ Concrete or Concrete Masonry Units. Be constructed with Split Faced, slump stone or Shot Blast Concrete Masonry Units; or stone veneer over precision block; or monolithic poured concrete with surface resembling either stone veneer, or split face finish; or monolithic poured concrete with raised or depressed patterns of at least on half inch (1/2 inches) covering 50 percent of the surface.
- ▶ Wood or Vinyl. Must be constructed of cedar or vinyl. All posts must have caps. Acceptable type of wood fence include: shadowbox, horizontally fixed planks, pickets no more than 48 inches, board on board with top and bottom rail, cedar or redwood vertical planks with 25 percent of the upper portion of the fence in framed latticework.
- ▶ Wrought Iron or Decorative Iron. Apply 12-inch by 12-inch pilaster where appropriate, as determined by the Planning Commission.

Acceptable materials also include:

- ▶ Brick, stone, or brick or stone veneer over precision block;
- ▶ Glass fencing panels;
- ▶ Columns of brick, stone, stone veneer or Concrete Masonry Units as above with any of allowed fencing materials between the columns.

Figure 5.5-9: Conceptual Community Wall and Fence Diagram

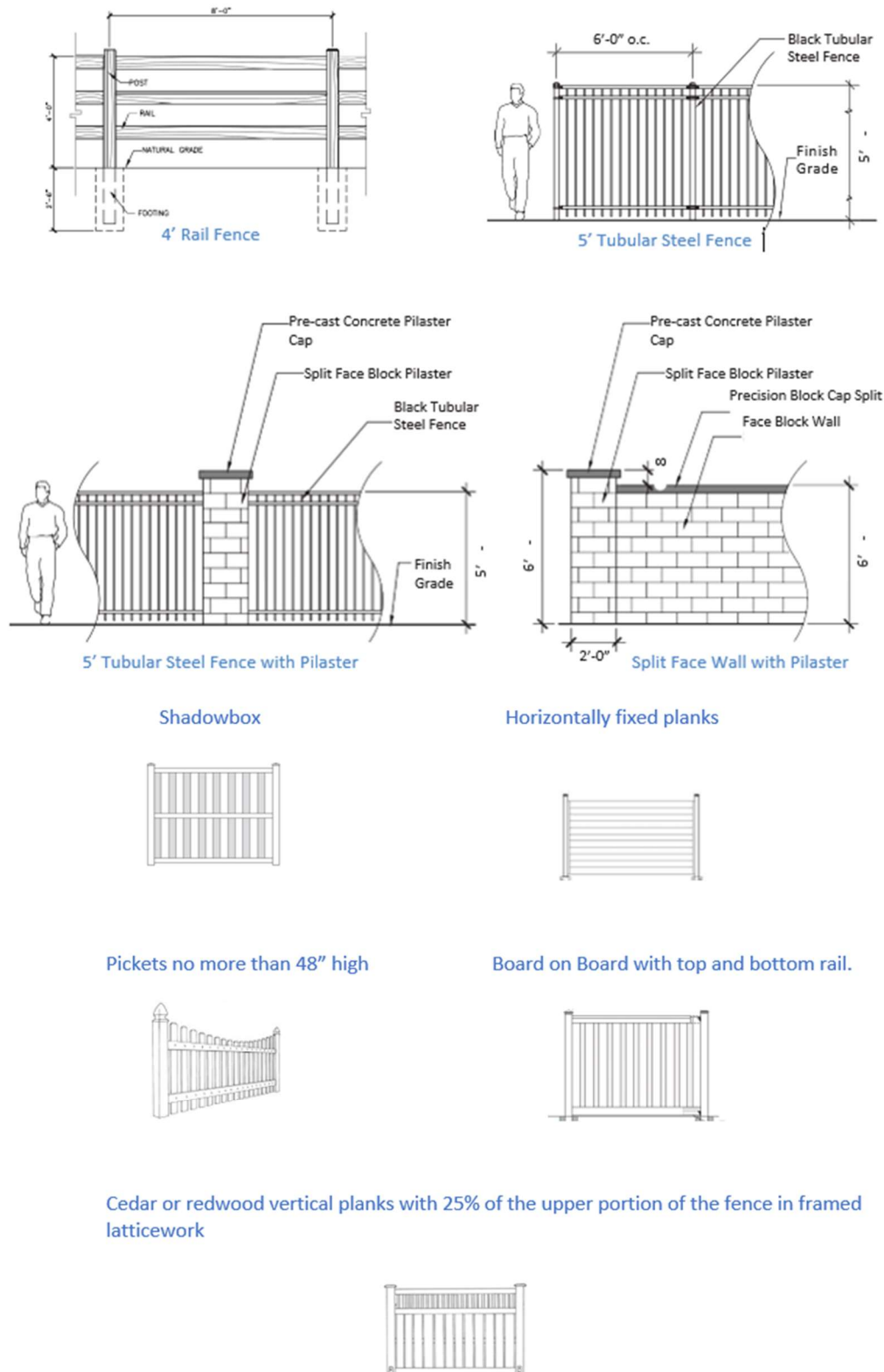
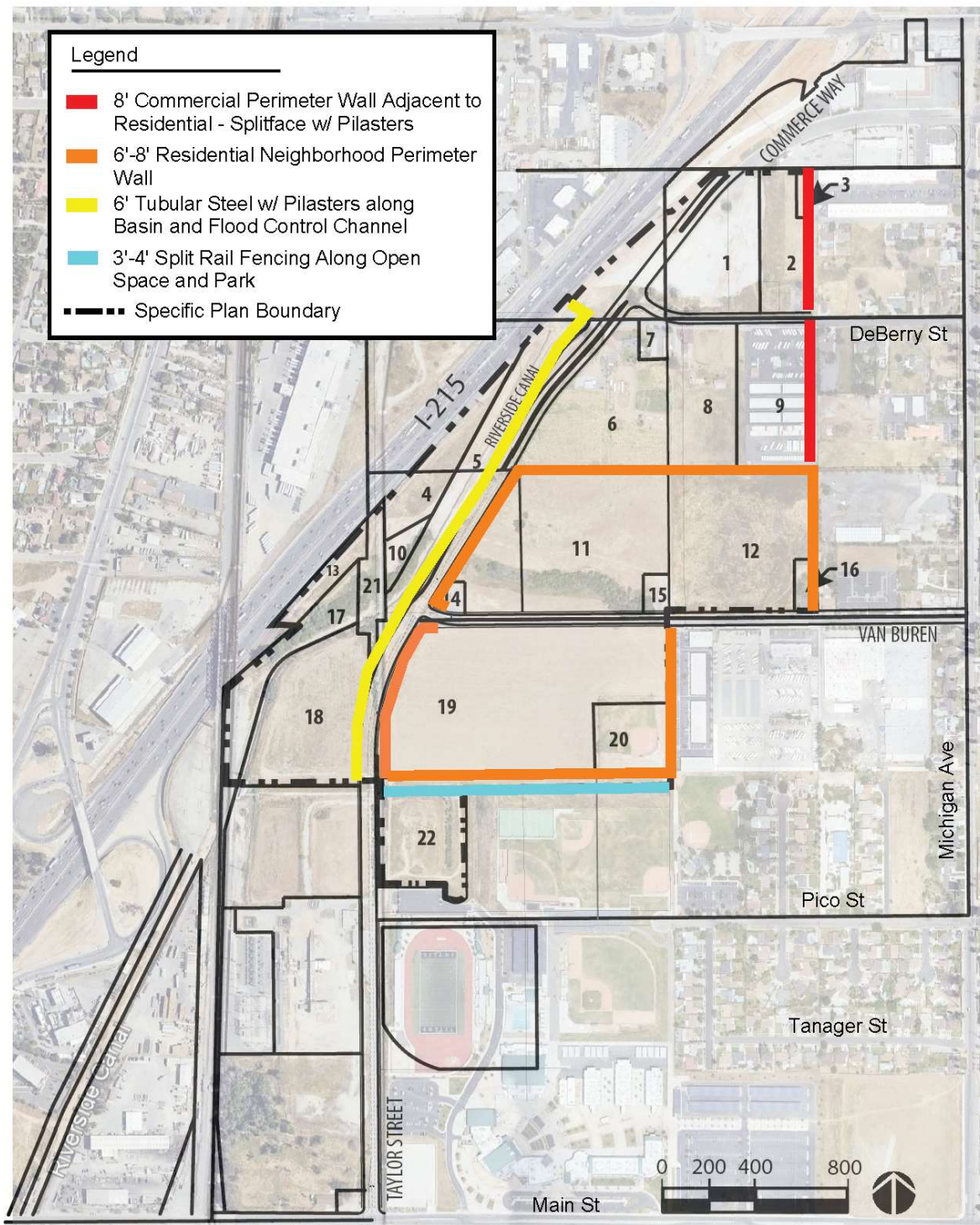


Figure 5.5-10: Conceptual Community Wall and Fence Plan



5.6 Signage

Signs and graphics play a large role in creating and reinforcing the desired feel of a vibrant community. Sign design shall be respectful of the surrounding area, but still have a distinctive character that reflects the uses of the environment.

A sign program shall be prepared for each development to allow individuality of signs while maintaining a unified and cohesive overall appearance. The sign program will be processed in compliance with sign requirement review procedures. Commercial sign design shall be:

- ▶ Compatible with adjacent buildings in terms of color, material and placement;
- ▶ Architecturally treated on the back and/or sides to blend with the exterior character of the buildings and site; and
- ▶ Color coordinated to relate to other signs and graphics in the vicinity in order to achieve a cohesive sense of identity.

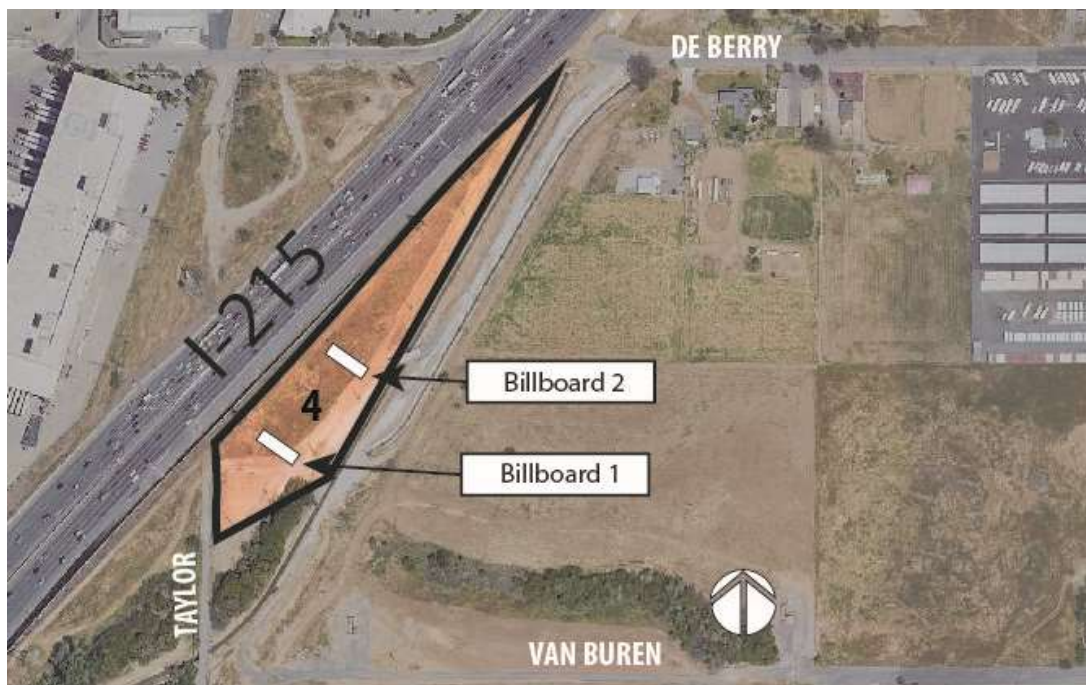


Uniquely Stylized Signage for Specific Uses

Freeway Signs

Freeway signs will be permitted in Planning Area 4 “Commercial” as shown in **Figure 5.6-1: Planning Area 4 Conceptual Billboard Plan**. Refer to Freeway Signs requirements as defined by GTMC Section 18.80.140 “Design Standards.”

Figure 5.6-1: Planning Area 4 Conceptual Billboard Plan





On-Site Temporary Sign Example

Portable/Temporary Signs

On-site portable signs such as sandwich boards shall be utilized to notify residents and visitors of information pertaining to on-site uses. They shall be maintained and kept in quality condition showing only appropriate content. These signs shall be readily removed from public view at the end of each business day. Temporary signs shall comply with GTMC Section 18.80.170 "Temporary on-site signs, commercial zones."

Residential Signage

Signage is an effective way to provide information and add another element of visual interest to properties. Similar to commercial signage, residential signage will also have to be in compliance with sign requirements and review procedures. In addition to the guidelines below, all signs shall comply with GTMC Section 18.80 "Signs."

A. Entry Monumentation

Appropriately scaled freestanding monument signs shall be located at residential entries to announce the community identity. The monument signs will be consistent with the overall theme of the Specific Plan, and will celebrate the residential community while providing a permanent identification element. Refer to **Figure 5.5-2:Community Monumentation Concepts** for an example.

B. Flag Banners

A series of flag banners shall be included in the residential sign program. This system of pole-mounted banners would be used to inform the community about on-site uses, excluding any external uses or events.



Flag Banner Example

C. Portable Real Estate Signs

Temporary signs such as free-standing bi-faced signs shall be used to advertise current on-site leasing opportunities. Information must pertain to the residential uses in the Specific Plan area.



Entry Monumentation and Portable Real Estate Sign Example





CHAPTER IMPLEMENTATION AND ADMINISTRATION **6**

All regular provisions of GTMC Code Title 18 shall apply to all properties within the Specific Plan area, including but not limited to design review, use permits, appeals, amendments, public notice and hearing provisions. The provisions herein supplement the above reference provisions.

The Specific Plan will be primarily implemented through the use of Site and Architectural Review Board. The review process shall be required for all major rehabilitation, redevelopment, expansion of existing uses and/or structures, and new development within the Specific Plan area. Review by the Site and Architectural Review Board will not be required for rehabilitation of a structure where there is no square footage increase or use intensification. However, such an expansion will require other land use and building permit applications and subsequent review processes. Where applicable certain uses and activities shall require review through the Conditional Use application process as defined in GTMC Title 18 - Zoning. A sign program permit is required for each development parcel per GTMC Section 18.80.060 "Permit Required."

6.1 Severability

If any section, subsection, sentence, clause, phrase or portion of this Specific Plan, or any future amendments or additions hereto, is for any reason found to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remainder of this Specific Plan document or any future amendments or additions hereto. The City hereby declares that it would have adopted these requirements and each sentence, subsection, clause, phrase or portion or any future amendments or additions thereto, irrespective of the fact that any one or more section, subsections, clauses, phrases, portions or any future amendments or additions thereto shall be declared invalid or unconstitutional.

6.2 Interpretation

In case of uncertainty or ambiguity in the meaning or intent of any provision of this Specific Plan, the Planning Director has the authority to interpret the intent of the provision. The Director shall, at his/her discretion, refer interpretations to the Planning Commission for consideration and action. Such a referral shall be accompanied by a written analysis of issues related to the interpretation. All interpretations made by the Planning Director shall be appealed to the Planning Commission. The appeal process shall follow the guidelines outlined in the Municipal Code.

6.3 Specific Plan Development Phasing

Residential and commercial developments within The Gateway at Grand Terrace Specific Plan area are dependent upon market factors and the ability to attract future end-users. Where possible, infrastructure and physical improvements within the Specific Plan boundary may be installed in two overlapping or consecutive phases. As such, construction of the Project will be phased in a logical sequence, in response to market demands. The Specific Plan incorporates two phases, as shown in **Figure 6.3-1: Specific Plan Phase Reference Map**.

Phase 1 of the Specific Plan encompasses the southern half of the Specific Plan area that includes residential, a new public park with baseball field and playground, a detention basin, and a new road, Commerce Way, and associated improvements, starting from the connection point of Taylor Street and Main Street and continuing north to the northern boundary of the residential portion. In addition, Phase I will also include improvements of portions of De Berry and Van Buren streets, construction of the Phase I storm drain plan, new water lines, and connection to existing sewer lines.

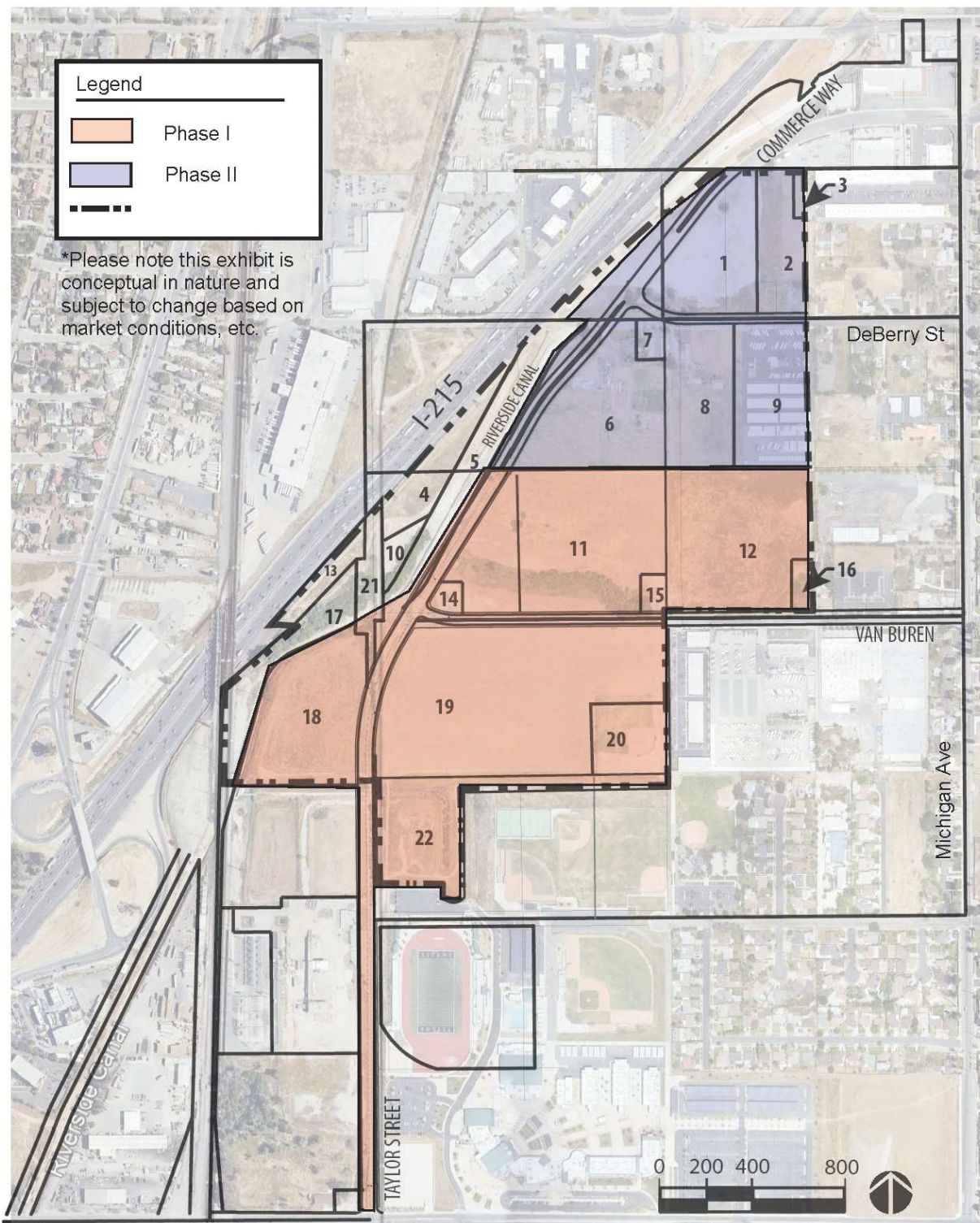
Phase 2 includes the development of the commercial portion located in the northern half of the Specific Plan area and includes the extension of Commerce Way from Phase 1 terminus point north to the current terminus point of the existing Commerce Way, and construction of Phase II storm drain.

The planning and design of each Planning Area shall address construction issues such as drainage, storm water management, utilities, and parking, as described in this Specific Plan and required by mitigation measures adopted as part of the Environmental Impact Report.

Construction and implementation of any development project within the Specific Plan shall demonstrate that all required infrastructure and facilities shall be timed to adequately service each individual development project. This may require construction of the facilities both on-site (within or adjacent to the Planning Area) and/or off-site (within other Planning Areas or outside of the Specific Plan area) to connect with existing facilities that will service that development.

This Specific Plan does not have an expiration period and shall remain in effect until otherwise repealed.

Figure 6.3-1: Specific Plan Phase Reference Map



6.4 Minor Specific Plan Revisions

The following minor, technical, and/or information revisions that do not change the meaning or intent of the Specific Plan shall be processed administratively:

- ▶ The addition of new information to the Specific Plan in the form of maps and/or text that does not change the effect or intent of any regulations;
- ▶ Changes in Planning Area boundaries resulting from final road alignments and/or geotechnical or engineering refinements to the tentative and/or final tract map provided that the total number of dwelling units is not exceeded;
- ▶ Clarification, including determination of meaning and intent, of any unclear or vague section, portion of a section, phrase, or word contained within this document;
- ▶ Typographical and grammatical errors;
- ▶ Revisions to tree species, size and location and other landscape material in the public right-of-way subject to the review and approval of the Public Works Department;
- ▶ Revisions to the location of infrastructure and/or service providers (such as drainage systems, roads, water and sewer systems, etc.) provided that the agency or jurisdiction that regulates such infrastructure and/or service has reviewed and approved the revisions;
- ▶ Revisions or additional architectural styles that follow the same principles and attention to detail as the specific vernaculars listed within Chapter 4: Design Guidelines; and
- ▶ Minor deviations to standards shall be considered per GTMC Section 18.89 “Minor Deviations.”

6.5 Specific Plan Amendments

This Specific Plan shall be amended using the same process by which it was approved. Pursuant to California Government Code 65453(a), Specific Plans may be amended as often as necessary, so long as the amendments are consistent with the current approved General Plan.

Minor amendments include simple modifications to text or graphics that do not change the meaning or intent of the Specific Plan may be accomplished administratively by the Director and may be appealed to the Planning Commission.

Major modifications are amendments to exhibits or text that change the intent and/or development standards or other provisions of the Specific Plan. Major modifications require an amendment to the Specific Plan, review of the Environmental Impact Report to determine if an addendum is required, and approval by the Planning Commission and City Council.

6.6 Financing

Landscape Lighting and Maintenance Districts (LLMDs)

LLMDs shall be used for maintenance and servicing of landscaping and lighting through annual assessments on benefiting properties. LLMDs shall also provide for maintenance of appurtenant features, including curbs, gutters, walls, sidewalks or paving, and irrigation or drainage facilities. Further, these features to be maintained by the LLMDs may include but are not limited to the following:

- ▶ Detention Basin in Planning Area 18
- ▶ Streetscape maintenance,
- ▶ Damages to curbs and streets due to accidents.
- ▶ Graffiti removal on walls and fences facing public streets.

Development Impact Fees (DIFs)

DIFs are impact fees imposed by local government on new or proposed development projects to pay for all or a portion of the costs of providing public services associated with new development. The fees imposed shall have a nexus with the relative impacts introduced by new development. The fees are typically used to assist in the funding and financing of public improvements that would otherwise significantly burden local government. DIF fees shall not be waived or reduced.

Financing & Maintenance of Improvements

The financing of construction, operation, and maintenance of public improvements and facilities (facilities), and public services shall include funding through a combination of financing mechanism. Final determination as to the facilities to be financed and as to maintenance responsibilities, whether public or private maintenance, will be made prior to approval of tentative maps or building permits. The following financing solutions can be considered for implementation:

A. *Facilities Construction Funding*

- ▶ Private capital investment for the construction of facilities, or
- ▶ Community Facilities District (CFD), established pursuant to the Mello-Roos Community Facilities District Act of 1982, or other special district to provide funding for the construction of a variety of public facilities and the provision of public services.
- ▶ District Act of 1982, or other special district, to provide funding for the construction of a variety of public facilities and the provision of public services.

B. *Operation and Maintenance of Private Facilities*

City approval is a prerequisite for the implementation of any and all establishment of financing mechanisms.

- ▶ By individual private property owner, or
- ▶ By homeowners' or property owners' association.

C. *Operation and Maintenance of Public Facilities:*

Public facilities are planned for public maintenance by either the City, CFD, or by the appropriate utility service provider. These public facilities include but are not limited to the following:

- ▶ Public streets,
- ▶ Public traffic signals and traffic control signs,
- ▶ Public on-site water facilities, sewer facilities, and drainage facilities within public streets,
- ▶ Street lighting within public rights-of-way,
- ▶ Water quality facilities for treatment of flows in public streets, and
- ▶ Parks

D. *Homeowners' or Property Owners' Association/Private Property Owner Maintenance:*

One or more associations shall be established for the maintenance of private common area improvements. Private improvements to be maintained by the association(s) shall include but are not limited to the following private facilities:

- ▶ Private streets, drive aisles and traffic control signs,
- ▶ Open space areas,
- ▶ Detention and water quality treatment facilities not located in public streets,
- ▶ Private sewer, storm drains and water systems,
- ▶ Recreational facilities,
- ▶ Walkways, entries and signage, and paseos,
- ▶ Community theme walls and fencing,
- ▶ Wall maintenance and graffiti removal on walls and fences within and facing residential developments,
- ▶ Common area facing wall surfaces, and internal slopes fronting streets, and
- ▶ Common area landscaping and lighting.

Summary of Financing & Maintenance Responsibilities

The financing and maintenance plan for the Specific Plan will ensure the timely completion of public facilities, utilities and other necessary capital improvements as well as the property maintenance of these facilities. **Table 6.6-1: Financing and Maintenance Plan** indicates the parties responsible for construction, financing, and maintaining the public improvements proposed by the Specific Plan.

Table 6.6-1: Financing and Maintenance Plan

Service or Facility	Party(ies) Executing Construction	Party(ies) Financing Construction	Party(ies) Responsible for Operation and Maintenance
Public Facilities			
Streets, Sidewalks and Trails	City/Master Developer	Master Developer/ CFD/Measure I/DIF	City of Grand Terrace
Community Walls/Fences	City/Master Developer	Master Developer	City of Grand Terrace
Public Park	City/Master Developer	Master Developer/ CFD/DIF	City of Grand Terrace
Storm Drainage Facilities	City/Master Developer	Master Developer/ CFD/DIF	City of Grand Terrace/SBCFCD
Water Facilities	City/Master Developer	Master Developer	RHWC
Sewer	City/Master Developer	Master Developer/ CFD/DIF	City of Colton
Commercial			
Landscape Setback	Developer	Developer	LLMD/Master Property Owners Association
Parking Lots	Developer	Developer	LLMD/Master Property Owners Association
Residential			
Common Area & Landscaping Improvements	Developer	Developer	LLMD/HOA
Walls/Fences	Developer	Developer	LLMD/HOA

Summary of Recurring Costs and Revenues

The Specific Plan estimated annual revenue and costs were assessed based on the developed residential population, employment, service population, developed acres and overhead and were projected using fiscal factors developed from the Adopted Grand Terrace 2022-23 Budget at city-wide rates. Additionally, payment of State and County fees and taxes were considered for revenue sources. **Table 6.6-2: Anticipated Costs and Revenue**, summarizes the anticipated cost of the Specific Plan's buildout to the City's general fund, as well as projected revenue generated by the Specific Plan buildout.

Table 6.6-2: Anticipated Costs and Revenue

Funding Source	Amount
Grand Terrace General Fund Revenue	\$3,480,518
State Gas Tax Fund Revenue	\$60,868
San Bernardino Fire District Revenue	\$492,499
San Bernardino County Free Library Revenue	\$58,676
Total Revenue	\$4,092,561
Grand Terrace General Fund Costs	\$735,200
Total Cost	\$735,200
Total Grand Terrace General Fund Net Revenue	2745318
Total City, County, and State Net Revenue	\$3,357,361



APPENDIX PROPERTY OWNERSHIP **A**

Appendix A: Property Ownership

Table A-0-1: Property Ownership

Planning Area	Area (Acres)	Owner	A.P.N.(S)
1	.95	San Bernardino County Transportation	1167-151-78
1	8.23	Georgia Capital	1167-151-79 1167-161-33 1167-161-02
2	3.05	Lewis	1167-161-03 1167-161-04
3	0.25	City Of Riverside	1167-161-05
4	2.83	Pierce	1167-151-09
5	1.91	City of Riverside	1167-151-14
6	8.40	Hubbs	1167-151-10
7	0.40	Johansen	1167-151-12 1167-151-13
8	4.60	Petta/Armstead	1167-171-11
9	4.60	De Berry Self-Storage	1167-171-12
10	0.62	San Bernardino County Flood	1167-151-20
11	14.55	Lewis	1167-151-22
12	8.64	Fo Fan Chi Ming, LLC	1167-181-12 1167-181-13
13	1.26	San Bernardino County Flood	1167-151-17
14	0.58	City of Riverside	1167-151-21
15	0.37	City of Riverside	1167-151-23
16	0.52	Halvin	1167-181-01
17	2.51	So Cal Edison	1167-151-18
18	9.24	Lewis	1167-151-68
19	0.40	Southern Pacific Transportation (Union Pacific Railroad)	1167-151-65
19	15.65	Lewis	1167-151-68 1167-151-74
20	2.51	City of Grand Terrace	1167-151-75
21	2.38	So Cal Edison	1167-151-64
22	0.47	City of Grand Terrace	1167-151-73
22	4.97	Lewis	1167-151-71
Open Space	1.9	San Bernardino County Flood	1167-151-11
Van Buren Street	1.94	City of Grand Terrace	
De Berry Street	1.95	City of Grand Terrace	
Taylor Street	1.19	City of Grand Terrace	
Riverside Canal	2.45	City of Riverside	1167-151-14 1167-151-24
Total Area	111.90 ac		



APPENDIX GENERAL PLAN CONSISTENCY **B**

Appendix B: General Plan Consistency

Table B-0-1: Land Use Element Consistency Analysis

Policy #	Goal/Policy	Consistency
Goal 2.1: Provide for balanced growth which seeks to provide a wide range of employment and housing opportunities and maintenance of a healthy, diversified community.		
2.1.1	Implementation of General Plan goals shall be reviewed every five years with the first review occurring one year after adoption of the General Plan. This will include an assessment of the relationship between General Plan land use designations and existing land uses at the time of the review as well as growth patterns in surrounding communities.	N/A
2.1.2	The City will establish a formal liaison with adjacent jurisdictions, i.e., Riverside and San Bernardino Counties and the Cities of San Bernardino and Colton, for the purpose of evaluating the effects of each jurisdiction's land use planning activities on contiguous areas.	N/A
2.1.3	Grand Terrace's potential role within the regional market area will be reviewed every 2 ½ years as an integral part of the General Plan.	N/A
2.1.4	The supply of vacant land and underutilized lands within the City shall be reviewed every 2 ½ years to consider changes in zoning in support of General Plan goals.	N/A
2.1.5	Enhancement of the City's image shall be undertaken by the establishment of City entrances and development of unified streetscapes.	N/A
2.1.6	Mixed use development which can demonstrate superior use of land, more efficient utilization of public facilities, and more effective conservation of natural resources shall be strongly encouraged by the City of Grand Terrace.	SP complies
2.1.7	The City shall continually refine population growth forecasts to ensure adequate planning for anticipated increased levels of sewerage, water and other necessary community services.	N/A
Goal 2.2: Preserve and enhance the quality and character of the City's residential neighborhoods.		
2.2.1	Any development occurring within the Hillside Residential designation shall be required to prepare a Specific Plan.	N/A
2.2.2	All residential developments shall comply with the goals and policies of the Housing Element of the General Plan.	SP complies
Goal 2.3: Provide a wide range of retail and service commercial opportunities designed to meet the needs of the City's residents, businesses, and visitors while also providing employment opportunities.		
2.3.1	Commercially designated freeway frontage shall be master planned to ensure a comprehensive commercial development pattern that will serve as a scenic entry into the City.	SP complies
2.3.2	Maintenance and continued development of Grand Terrace's established commercial areas, as an encouragement of new commercial development.	SP complies
2.3.3	Additional freeway service-oriented commercial uses shall be encouraged.	SP complies
2.3.4	Commercial areas along Barton Road shall be designated in a manner that discourages "strip commercial" type development.	N/A
2.3.5	Measures to reduce potential land use incompatibility between commercially designated areas and all other plan areas will be given special consideration. Specific features could include increased setbacks, walls, berms, and landscaping.	SP complies

Policy #	Goal/Policy	Consistency
Goal 2.4: Provide for a mix of attractive industrial land uses designed to generate employment opportunities		
2.4.1	The City shall promote the development of employment generating, light, non-polluting industry with the present land use pattern.	N/A
2.4.2	The City shall promote the development of light non-polluting industrial uses within the City.	N/A
2.4.3	Whenever feasible, industrially designated areas shall be master planned to provide an “industrial park” character.	N/A
2.4.4	Buffering to prevent potential land use incompatibilities between industrial areas and other areas shall be given special consideration. Specific features could include increased setbacks, walls, berms, and landscaping.	N/A
2.4.5	The City’s Redevelopment Agency shall assist in the consolidation and assemblage of properties to assure adequate sized quality development with areas designated as light industrial.	N/A
Goal 2.5: Provide for the preservation of natural resources and open space.		
2.5.1	All areas of Blue Mountain above elevation 1,450 feet above sea level shall be maintained as open space. Consideration shall be given to the maintenance of existing communications towers.	N/A
2.5.2	Areas designated as Open Space shall be preserved to provide long-term recreation opportunities as well as the preservation of scenic and environmental resources and the protection of public health and safety.	N/A
2.5.3	Energy efficiency shall be encouraged in all future development.	SP complies

Table B-0-2: Safety Element Consistency Analysis

Policy #	Goal/Policy	Consistency
Goal 3.1: Provide a comprehensive transportation system that provides for the current and long-term efficient movement of people and goods within and through the City.		
3.1.1	Provide a transportation system which supports planned land uses and improves the quality of life.	SP complies
3.1.2	An arterial street system shall be established that provides for the collection of local traffic and provide for the efficient movement of people and goods through the City.	SP complies
3.1.3	Commerce Way shall provide for the movement of traffic associated with commercial and business traffic.	SP complies
3.1.4	Coordinate with transportation planning, programming and implementation agencies such as SCAG, Caltrans, SANBAG, and the cities of San Bernardino County, as well as neighboring jurisdictions in Riverside County on various studies relating to freeway, high occupancy vehicle/high occupancy toll lanes and transportation corridor planning, construction, and improvement in order to facilitate the planning and implementation of an integrated circulation system in accordance with regional planning goals.	N/A
3.1.5	New development projects shall be analyzed in accordance with SANBAG congestion management Program (CMP) Traffic Impact Analysis (TIA) Guidelines.	SP complies
3.1.6	The City shall work with adjacent jurisdictions to assess future land development projects and their impact to the City circulation system and provide appropriate mitigation for identified impacts.	N/A
3.1.7	The maximum acceptable Level of Service for streets identified in the City Master Plan of Streets and Highways during peak hours shall be LOS “D.”	SP Complies

Policy #	Goal/Policy	Consistency
3.1.8	The City shall use the Caltrans Design and traffic manuals as guidelines for street lighting, traffic signage, street markings and intersection signalization.	SP complies
Goal 3.2: Provide for a well-maintained roadway system.		
3.2.1	The City shall continue to require the dedication of street right-of-way, as identified in the Circulation Plan, from all proposed land development projects.	SP complies
3.2.2	The City shall require that street improvements be constructed at the time that development occurs on vacant or underutilized property.	SP complies
3.2.3	The extension, improvement and maintenance of City streets using City funds shall be based upon an adopted Capital Improvement Program.	SP complies
Goal 3.3: Provide for a safe circulation system.		
3.3.1	Promote the safe and effective movement of all segments of the population and the efficient transport of goods.	SP complies
3.3.2	The City shall require that new developments provide adequate off street parking in order to minimize the need for on street parking.	SP complies
3.3.3	The City shall ensure that local street improvements are designed with proper attention to community appearance and aesthetics as well as the need to move traffic safely and efficiently.	SP complies
3.3.4	The City shall route truck traffic away from residential areas and work with regional agencies in order to mitigate potential impacts from regional traffic.	SP Complies
3.3.5	The City shall evaluate and, when appropriate, implement traffic calming measures on residential local residential streets.	SP complies
3.3.6	The City shall ensure that the design of Commerce Way at the UPRR line is coordinated with the UPRR Company.	SP complies
Goal 3.4: Provide for an efficient and safe bikeway system within the City.		
3.4.1	Develop a system of continuous and convenient bicycle routes designed to connect schools, residential areas, shopping centers, parks, and employment areas.	SP complies
3.4.2	The City shall promote and facilitate the use of bicycles as an alternative mode of transportation through the development of a City-wide network of bikeways.	N/A
3.4.3	The City shall seek grants and other available funding sources to construct additional segments of the Bikeway Plan.	N/A
3.4.4	The City shall develop a public relations program, in concert with other local and regional agencies, to promote bicycle usages.	N/A
3.4.5	The City shall work with the San Bernardino County Parks Department to provide connections within the City to the Santa Ana River Trail.	N/A
3.4.6	The City shall require the provision of bike racks at all new commercial and industrial developments.	SP complies
Goal 3.5: Provide for efficient alternative modes of travel.		
3.5.1	Promote measures, which reduce reliance on single occupant vehicle usage by enforcement of the Traffic Control Measures (TCM) ordinance, which addresses development standards, land use patterns, employer based rideshare programs and bicycle/pedestrian facilities.	SP Complies
3.5.2	The City shall participate in local and regional public transit programs.	N/A
3.5.3	The City shall encourage and facilitate pedestrian movement by creating environments that are conducive to walking and maintaining a "human scale" of development.	SP complies

Policy #	Goal/Policy	Consistency
3.5.4	The City shall work closely with the regional transit agencies to ensure convenient, and the affordable bus service continues to be available to local residents.	N/A
3.5.5	The City shall work with OmniTrans and SANBAG to implement a public transit system that meets the City's need for internal circulation as well as connections to regional activity centers and inter-urban transit routes.	N/A
3.5.6	The City shall encourage Transit Oriented Development (TOD) to provide housing that is in close proximity to designated public transit facilities and routes. All projects will be reviewed in relationship to their proximity to existing and future transit systems.	SP Complies
3.5.7	The City shall provide amenities along the Barton Road corridor that promote pedestrian and bicyclist use, such as a continued system of pedestrian paths and bike lanes to connect the City Center with schools, parks, and residential areas.	N/A

Table B-0-3: Open Space and Conservation Element Consistency Analysis

Policy #	Goal/Policy	Consistency
Goal 4.1: That the Open Space needed for outdoor recreation in the City of Grand Terrace be provided and thereby, improve the quality of life for the residents of the City		
4.1.1	A park standard of (five) 5 acres per 1,000 population shall be used to determine the total acreage of developed parkland for the City.	SP Complies
4.1.2	The City shall evaluate the siting of a public park site within that portion of the City lying westerly of I-215. The evaluation shall include the possibility of utilizing privately held, underutilized parcels and those areas subject to flood hazard lying west of the freeway.	N/A
4.1.3	The City shall evaluate the possibility of developing existing utility easements as linear parks.	N/A
4.1.4	The City shall evaluate the possibility of developing the Gage Canal as a linear park including a pedestrian/bike trail, which would connect with the proposed regional trail along the Gage Canal in Riverside County.	N/A
4.1.5	The City will establish guidelines and standards for the establishment of a linkage system among the City's parks and open space areas. In residential areas, the feasibility of utilizing sidewalks shall be made. These sidewalks will be part of the "Pedestrian Sidewalk Master Plan" called for in the Circulation Element and "safe routes" to schools plan. In addition, consideration will be given to the placement of appropriate signage along the sidewalk identifying them as part of a designated trail system.	SP Complies
4.1.6	The City will work with other public agencies and private entities to coordinate its trail planning and development to tie into the regional trails systems, including the California Recreational Trail System, connecting neighboring cities and counties. These trails shall be used for pedestrian, equestrian, or biking. Such efforts will include a connection with the Santa Ana River Trail as shown in the "Plan of Open Space and Trails for the County of San Bernardino" and with the trail system of the County of Riverside including the proposed regional trail along the Gage Canal in Riverside County.	SP Complies
4.1.7	The City will explore various means to fund the construction and maintenance of its trail system.	N/A
4.1.8	The City shall evaluate the feasibility of developing observation points (lookouts" along the northern boundary of the City to take advantage of the spectacular views of the San Bernardino Mountains.	N/A

Policy #	Goal/Policy	Consistency
4.1.9	The City shall develop Susan Petta Park as a passive park site connected to the City's Senior Center.	N/A
4.1.10	<p>The City will consider the feasibility of utilizing various methodologies and techniques to provide open space for identified future needs. These programs shall include:</p> <ul style="list-style-type: none"> • Open space zoning pursuant to Sect.65910 of the Government Code • Public acquisition of open space • Private acquisition of open space (e.g., non-profit land trusts or conservancies) • Application of the Quimby Act to subdivision approvals • Provision for open space in specific plans • Provision for open space in development agreements • Transfer of development rights • Open space in planned unit developments. <p>Joint use agreements with the Colton Joint Unified School District</p>	N/A
4.1.11	<p>The City will explore various ways for park/open space development and maintenance funding including such programs as:</p> <ul style="list-style-type: none"> • "Adopt a Park" where private groups and organizations can support, financially the procurement or recreational equipment and park maintenance. • Actively seek out various government grant programs such as the Local Assistance Grants administered by the California Department of Parks & Recreation; the Urban Park and Recreation Recovery Program; CDBG grants, and other government sponsored programs. • Explore the possibility of obtaining grants from private corporations. • Actively use various resources on the Internet. <p>Review the feasibility of utilizing various other mechanisms for funding open space development and maintenance.</p>	N/A
4.1.12	The City shall evaluate the feasibility of developing the proposed Grand Terrace Wilderness Park into an active recreational facility including biking, hiking, and picnicking.	N/A
4.1.13	The City shall require development adjacent or in proximity to the proposed Grand Terrace Wilderness Park to provide land for access, parking and/or staging areas, as appropriate.	N/A
Goal 4.2: Natural resources in the City of Grand Terrace shall be protected and preserved by utilizing open space designations or related regulations		
4.2.1	The City shall use existing information regarding biological resources including data on natural vegetation and wildlife habitats for both rare and endangered species in identifying potential natural resource open space areas.	N/A
4.2.2	The City shall establish land use regulations to preserve and protect any identified natural resources.	N/A
4.2.3	The City shall cooperate with the County of San Bernardino and other participating cities in identifying regional natural resource areas and developing appropriate mitigation measures to protect these resources.	N/A
4.2.4	The City shall evaluate developing a specific plan for the western face of Blue Mountain. The specific plan will contain policies to preserve and maintain the open space resources of Blue Mountain including its biologic properties.	N/A
4.2.5	The City shall act to reasonably conserve and protect significant biological resources.	N/A
4.3.1	The City shall periodically review and keep abreast of geologic and seismic reports and information that shall affect the City.	N/A

Policy #	Goal/Policy	Consistency
4.3.2	The City shall identify areas within the City that shall be subject to geologic or seismic hazards and evaluate the potential to designate these areas as open space.	N/A
4.3.3	Open space shall be used to protect public health and safety resulting from flood hazard conditions in the City of Grand Terrace.	SP complies
4.3.4	The City shall periodically review the flood hazard maps to identify potential flood hazards.	N/A
4.3.5	Those areas subject to flood hazard shall be placed in a flood hazard overlay zone	N/A
4.3.6	Areas of the City subject to flood hazard shall be evaluated to determine whether they shall be designated as open space.	N/A
4.3.7	Where appropriate, open space shall be used to protect public health and safety resulting from wildland fires in the City of Grand Terrace.	N/A
4.3.8	The City shall work with the San Bernardino County Fire Protection District to identify areas of the City that are subject to wildland fires.	N/A
4.3.9	The City shall apply a high fire overlay district to those areas in the City subject to wildland fires such as portions of Blue Mountain.	N/A
4.3.10	Areas of the City subject to wildland fires shall be evaluated to determine whether they shall be designated as open space.	N/A
Goal 4.4: Provide open space to enhance community identity.		
4.4.1	The City shall consider the establishment of a public plaza in the proposed "Town Square" project on Barton Road. This public plaza shall be designed to serve the social and cultural needs of the community.	N/A
4.4.2	The City shall evaluate the feasibility of extending bike lanes and pedestrian paths to allow people to walk to the public plaza area in the Town Square project on Barton Road.	N/A
4.4.3	The City shall use various multi-media marketing methods to proactively market the City's parks and recreation facilities.	N/A
4.4.4	The City shall continue to implement the City's Bike Trail Master Plan as funds are available.	N/A
Goal 4.5: Protect and promote the beauty of Blue Mountain.		
4.5.1	The City shall consider developing a specific plan for the western face of Blue Mountain.	N/A
4.5.2	The City shall designate Blue Mountain as a community symbol reflecting its value as a major open space and scenic resource.	N/A
4.5.3	The City shall evaluate the development of the Grand Terrace Wilderness Park to encourage the City's residents to relate to Blue Mountain.	N/A
4.5.4	The City shall evaluate the feasibility of developing a trail system emanating from the proposed Grand Terrace Wilderness Passive Park to provide trails on Blue Mountain with possible connections to regional trail systems in the area.	N/A
4.5.5	A fire overlay district shall be applied to Blue Mountain to protect both the future development that shall be constructed on the lower, more gentle slopes at the foot of the mountain and also its natural beauty.	N/A
Goal 4.6: The City shall support and promote the conservation of energy resources.		
4.6.1	The City shall establish an energy conservation policy and implementation program for all City facilities.	N/A
4.6.2	The City shall implement a public outreach program to provide the public with information regarding energy conservation practices and programs.	N/A

Policy #	Goal/Policy	Consistency
4.6.3	The City shall encourage energy and environmentally sustainable design in new land development projects using Leadership in Energy and Environmental Design (LEED) or similar standards.	Sp complies
4.6.4	The City shall work with its franchised solid waste collection company to implement recycling programs designed to reduce the per capita waste generation within the City while responding to the requirements of the California Integrated Waste Management Act of 1989.	N/A
Goal 4.7: Support air quality planning through land use policies, outreach efforts, and participation in regional air quality planning.		
4.7.1	The City shall evaluate and implement traffic flow improvements and construction management practices that reduce locally generated vehicle emissions.	SP complies
4.7.2	The City shall encourage the use of public transportation through coordination with local and regional transit providers.	N/A
4.7.3	The City shall encourage land use planning and urban design that reduces vehicle trips through mixed use development, consolidation of commercial uses along arterial highways, and pedestrian connection between residential and commercial uses.	SP complies
4.7.4	The City shall promote public education programs regarding air quality programs and practices.	N/A
4.7.5	The City shall encourage employers to develop and implement trip reduction plans including alternate work schedules, rideshare programs, telecommuting, and employee education programs.	N/A
4.7.6	The City shall implement policies and procedures designed to reduce emissions generated by construction activities including enforcement of SCAQMD Rule 403.	N/A
4.7.7	The City shall promote energy conservation efforts in new and existing residences and businesses.	SP complies
Goal 4.8: Achieve regional water quality objectives and protect the beneficial uses of the regions surface and groundwater.		
4.8.1	Evaluate all proposed land use and development plans for their potential to create groundwater contamination hazards from point and non-point sources, and cooperate with other appropriate agencies to assure appropriate mitigation	SP complies
4.8.2	Comply with the requirements of the National Pollutant Discharge Elimination System (NPDES).	SP complies
Goal 4.9 Comply with state and federal regulations to ensure the protection of historical, archaeological, and paleontological resources.		
4.9.1	The City shall take reasonable steps to ensure that cultural resources are located, identified and evaluated to assure that appropriate action is taken as to the disposition of these resources.	SP complies

Table B-0-4: Public Health and Safety Element Consistency Analysis

Policy #	Goal/Policy	Consistency
Goal 5.1: Minimize the risk to public health and safety, social and economic welfare of the City resulting from geologic and seismic hazards		
5.1.1	All new development shall comply with current seismic design standards.	SP complies
5.1.2	All proposed developments shall be evaluated for impacts associated with geologic and seismic hazards.	SP complies

Policy #	Goal/Policy	Consistency
5.1.3	Existing structures which are seismically unsound shall be identified and programmed for mitigation or removal where necessary to protect the public safety. Cultural and historic significance of buildings shall be considered in this program.	N/A
5.1.4	Grading plans for development projects shall include an approved drainage and erosion control plan to minimize the impacts from erosion and sedimentation during grading.	SP complies
Goal 5.2: Protect humans and property from hazards associated with slope instability.		
5.2.1	The City shall continue to enforce hillside development standards for proposed developments in areas on or near areas of potential slope instability.	N/A
5.2.2	All new developments in areas of slope instability shall be required to perform adequate geotechnical analysis and provide an engineered design to assure that slope instability will not impact the development.	N/A
Goal 5.3: Reduce the risk to life and property in areas designated as flood hazard areas.		
5.3.1	All development proposed within a designated 100-year floodplain shall be reviewed to assure that all structures designated for human habitation are adequately protected from flood hazards.	N/A
5.3.2	The City shall work with the San Bernardino County Flood Control District and Army Corps of Engineers to provide adequate flood protection along the Santa Ana River.	N/A
5.3.3	The City shall evaluate the flood control system of the City and improve it as required and as funds become available.	SP complies
5.3.4	The City shall require all development projects to comply with the National Pollutant Discharge Elimination System (NPDES) and implement appropriate Best Management Practices.	SP complies

Table B-0-5: Noise Element Consistency Analysis

Policy #	Goal/Policy	Consistency
Goal 6.1: Protect the citizens of Grand Terrace and sensitive land uses from annoying and excessive noise generated by non-transportation oriented uses and activities		
6.1.1	Implement a review process of the City's noise ordinance and City policies and regulations affecting noise.	N/A
6.1.2	Minimize the impacts of construction noise on adjacent land uses by limiting the permitted hours of activity.	SP complies
6.1.3	Require City departments to observe state and federal occupational safety and health noise standards.	N/A
6.1.4	Require new equipment and vehicles purchased by the City to comply with noise performance standards consistent with available noise reduction technology.	N/A
Goal 6.2: Prevent and mitigate the adverse impacts of excessive exposure to residential and commercial land uses.		
6.2.1	Incorporate noise considerations into land use planning decisions to minimize or avoid detrimental impacts, reduce encroachment of non-residential land uses, and enforce the local noise ordinance.	SP complies
6.2.2	Adopt planning guidelines that establish acceptable noise standards for various land uses throughout the City of Grand Terrace	N/A
6.2.3	New residential developments located in close proximity to existing commercial/industrial operations shall be evaluated for potential noise impacts and interior noise mitigation.	SP complies
6.2.4	Commercial uses developed as part of any mixed-use project including residential component shall not be noise intensive. Mixed-use structures shall be designed to prevent commercial noise impacts to the project's residential uses.	SP complies
6.2.5	New commercial/industrial operations located in proximity to existing or proposed	SP complies

Policy #	Goal/Policy	Consistency
	residential areas shall incorporate noise mitigation into project design.	
6.2.6	Impacts of construction noise and vibration on adjacent land uses shall be regulated through limiting the permitted hours of activity.	SP complies
6.2.7	The City shall evaluate potential ground-borne vibration impacts as part of the land use planning process to mitigate or avoid detrimental impacts on adjacent land uses.	SP complies
Goal 6.3: Protect the residents of Grand Terrace from excessive noise generated by transportation-oriented sources.		
6.3.1	The City shall be actively involved in improvements programs for I-215 to promote noise mitigation along the freeway corridor through the City.	N/A
6.3.2	The City shall enforce the California Vehicle Code noise standards within the City.	N/A
6.3.3	The City shall consider noise impacts to residential neighborhoods when designating truck routes and major circulation corridors.	SP complies
6.3.4	The City shall promote the establishment of bus routes that meet public transportation needs while minimizing bus noise impacts to residential areas.	N/A
6.3.5	Encourage, where feasible, noise mitigation measures, such as noise barriers and realignments, in the design and construction of new roadway projects in the City of Grand Terrace.	SP complies
6.3.6	The City shall promote the construction of noise barriers along rail lines that pass adjacent to residential areas.	N/A
6.3.7	The City shall encourage a reduction in the level of noise produced by train movements and whistle noise within the City.	N/A
6.3.8	The City shall monitor activities associated with future aircraft and rail movements that shall result in noise impacts to the City.	N/A

Table B-0-6: Public Services Element Consistency Analysis

Policy #	Goal/Policy	Consistency
Goal 7.1: Coordinate and balance the provision of public services with existing and planned development to eliminate service gaps, maximize the use of existing public facilities and services, provide a high level of quality public services at a reasonable cost, and maintain adequate services to meet the needs of current and future City residents and businesses.		
7.1.1	All proposed developments shall be evaluated to determine whether current public services and facilities can meet with their needs. If determined that current services and facilities are inadequate to meet the needs of new development, appropriate mitigation measures shall be applied to the new development to assure an adequate level of service.	N/A
7.1.2	The City shall establish and periodically update a Development Impact Fee program for new development designed to generate adequate fees to provide new public services and facilities necessary to serve the new development.	N/A
7.1.3	Ensure that existing residents and businesses are not burdened with the economic costs of new infrastructure to support new development.	SP complies
7.1.4	The City shall coordinate with public and private utility companies and agencies to assure the long-term provision of necessary public services including water, sewer, electrical, natural gas, telephone, cable TV and waste collection/recycling.	SP complies
7.1.5	The City shall prepare and implement a Capital Improvement Program and, in accordance with AB 1600, monitor the capacity of existing facilities to assure that new development does not exceed their capacity. The City shall regularly review and update the Capital Improvement Program to address the changing needs of the community.	N/A
7.1.6	The City shall work with the County of San Bernardino to evaluate the feasibility for the development of a new library within the City.	N/A

Policy #	Goal/Policy	Consistency
7.1.7	The City shall seek grants and other funding sources to improve public services and facilities.	SP complies
7.1.8	The City shall work with the Colton Joint Unified School District to evaluate the potential to share facilities such as playgrounds, libraries, and assembly halls in a effort to efficiently use these facilities and avoid duplication of these facilities.	N/A
Goal 7.2: Provide a water system that produces high-quality water at sufficient pressure and with adequate quantity to meet current and future domestic demand.		
7.2.1	Continue to work with Riverside Highland Water Company to provide efficient and economic distribution of an adequate water supply.	SP complies
7.2.2	Work with Riverside Highland Water Company to ensure that the City's water supply meets or exceeds State and Federal health standards.	N/A
7.2.3	Work with Riverside Highland Water Company to promote water conservation and education programs.	N/A
Goal 7.3: Provide a safe and efficient sanitary sewer system to meet the current and future needs of the City's residents and businesses.		
7.3.1	Work with the City of Colton to ensure a quality wastewater treatment system that meets or exceeds all State and federal health standards.	N/A
7.3.2	Establish a sewer main maintenance program to ensure proper and timely maintenance of the City's sanitary sewer collection system.	N/A
Goal 7.4: Provide for an efficient and environmentally sound solid waste collection and recycling, and disposal system		
7.4.1	Work with the City's franchise waste collection company to ensure an effective and efficient waste collection program for all City residents and businesses.	N/A
7.4.2	Work with the County Waste Management Department to ensure a cost effective waste disposal system with adequate capacity to meet current and future needs.	N/A
7.4.3	Work with the County and the City's waste hauler to implement effective recycling programs to reduce the total amount of waste requiring disposal.	N/A
Goal 7.5: Provide for adequate law enforcement and police protection services and facilities		
7.5.1	Work with the County Sheriff's Department to ensure that adequate police personnel, response times, and equipment are available to meet current and future demands of the City's residents and businesses.	N/A
7.5.2	Maintain and expand existing crime prevention and public education programs.	N/A
Goal 7.6: Provide for adequate fire protection services and facilities.		
7.6.1	Work with the San Bernardino County Fire Protection District to ensure that adequate fire protection personnel, response times, and equipment are available to meet current and future demands of the City's residents and businesses.	N/A
7.6.2	Work with Riverside Highland Water Company to ensure adequate water pressure for fire fighting throughout the City.	N/A
7.6.3	Maintain and expand existing fire prevention and public education programs.	N/A
Goal 7.7: In cooperation with the Colton Joint Unified School District, provide adequate public education facilities and programs		
7.7.1	Work with the Colton Joint Unified School District to provide expanded public education facilities that meet the current and future needs of the City's residents.	N/A
7.7.2	Cooperate with the School District in the collection of school impact mitigation fees for all new developments within the City.	SP complies
Goal 7.8: In cooperation with private utility companies, provide adequate and updated utility services to the City's residents and businesses		
7.8.1	Work with electrical and telecommunications companies to underground lines whenever feasible.	SP complies

Policy #	Goal/Policy	Consistency
7.8.2	Coordinate with telecommunications companies to provide state-of-the-art telecommunications and internet services to the City's residents and businesses.	N/A
7.8.3	Coordinate with all utility companies to provide maintenance programs that minimize the impact to public streets and rights-of-way.	N/A

Table B-0-7: Housing Element Consistency Analysis

Policy #	Goal/Policy	Consistency
Goal 8.1: Provide and encourage a supply of housing suitable to the needs and sufficient in number to serve existing and projected residents of Grand Terrace.		
8.1.1	Promote and encourage development of housing, which varies by type, design, form of ownership and size.	SP complies
8.1.2	Maximize use of remaining vacant land suitable for residential development	SP complies
8.1.3	Promote and encourage infill housing development and more intensive use of underutilized land for residential construction.	SP complies
8.1.4	Encourage the use of innovative land use techniques and construction methods to minimize housing costs without compromising basic health, safety and aesthetic considerations.	SP complies
8.1.5	Strive to provide incentives for and otherwise encourage the private development of new affordable housing for low- and moderate-income households.	N/A
8.1.6	Facilitate construction of low- and moderate-income housing to the extent possible.	N/A
8.1.7	Periodically reexamine local building and zoning codes for possible amendments to reduce construction costs without sacrificing basic health and safety considerations.	N/A
8.1.8	Continue a policy of expeditious processing of residential development proposals and permits.	N/A
8.1.9	Amend the Barton Road Specific Plan to promote a village atmosphere in the downtown that will encourage a mix of residential and commercial activity.	N/A
8.1.10	Promote mixed use development with senior citizen housing in the Barton Road Specific Plan areas.	N/A
8.1.11	Provide Redevelopment Agency assistance and bond financing to qualified developments to obtain new senior citizen housing in the Barton Road Specific Plan area.	N/A
8.1.12	Provide for a new zoning category to permit a density of at least 20 units/ acre with a density bonus of 25% per State housing law, which would qualify for very low income housing.	N/A
8.1.13	Provide for housing set-aside funds to be committed to the "Habitat for Humanity" or similar organization for the development of low-income housing.	N/A
Goal 8.2: Promote and encourage housing opportunities, accessible to employment centers and quality community services for all economic segments of the community including designated very low, low, and moderate income households.		
8.2.1	Continue a policy of expeditious processing of residential development proposals and permits.	SP Complies
8.2.2	Encourage a wide range of housing types, prices and ownership forms in new construction.	SP Complies
8.2.3	Emphasize and promote the role of the private sector in the construction of low- and moderate-income housing.	SP Complies
8.2.4	Support the development of cost saving and energy conserving construction techniques.	SP Complies
8.2.5	Assist private developers in identifying and preparing land suitable for lower- income housing developments.	N/A
8.2.6	Encourage the inclusion of units for low- and moderate-income families as part of private sponsored housing developments.	N/A

Policy #	Goal/Policy	Consistency
8.2.7	Support efforts of private lenders to provide alternative financing methods to make homeownership available to a greater number of households.	N/A
8.2.8	Streamline administrative procedures for granting approvals and permits and establish time limits for such approvals to minimize time, costs and uncertainty associated with development.	SP Complies
8.2.9	Provide zoning, subdivision and construction incentives to minimize the cost of new and rehabilitated units.	SP Complies
8.2.10	Promote mixed use development that includes provisions for affordable housing.	SP Complies
8.2.11	Provide Redevelopment Agency assistance and bond financing to qualified developments.	N/A
8.2.12	Continue operation of the City Housing Office to administer and monitor City housing programs to low and moderate income residents.	N/A
8.2.13	Commit existing and future housing set-aside dollars to continue and expand the City's existing first time home buyer assistance program as needed to meet the community's low and moderate income housing needs, as described in this Housing Element.	N/A
8.2.14	Commit the City's Housing Office to seek available State grants to provide funds to qualified owners of mobilehomes for rehabilitation or replacement purposes and to qualified buyers for the purchase of mobilehomes.	N/A
8.2.15	Work with the San Bernardino County Housing Authority in placing Section 8 certificates in the community, when appropriate.	N/A
8.2.16	Maintain and enhance the low density character of existing residential neighborhoods.	N/A
8.2.17	Investigate and pursue programs and funding sources designed to maintain and/or improve the affordability of existing housing units to low- and moderate-income households.	N/A
Goal 8.3: Promote and encourage the rehabilitation of deteriorated dwelling units and the conservation of the currently sound housing stock.		
8.3.1	Promote utilization of rehabilitation assistance programs to alleviate overcrowded conditions and to remove architectural barriers.	N/A
8.3.2	Encourage the rehabilitation of deteriorating owner-occupied and rental housing.	N/A
8.3.3	Take action to promote the removal and replacement of those substandard units that cannot be rehabilitated.	N/A
8.3.4	Upgrade community facilities and municipal services as community needs warrant.	SP complies
8.3.5	Encourage the use of rehabilitation assistance programs to make residences more energy efficient.	N/A
8.3.6	Commit existing and future housing set-aside dollars to continue and expand the City's housing rehabilitation program as needed to meet the community's low and moderate income housing, as described in this Housing Element.	N/A
8.3.7	Utilize public information and assistance programs to encourage repair before deterioration occurs.	N/A
8.3.8	Monitor housing conditions in Grand Terrace on a semi-annual basis.	N/A
8.3.9	Prevent the encroachment of incompatible uses into established residential neighborhoods.	N/A
8.3.10	Sustain a high standard of maintenance for all publicly owned property.	N/A
8.3.11	Preserve the physical character of existing neighborhoods.	SP complies
8.3.12	Encourage the maintenance of sound owner-occupied and rental housing.	N/A
8.3.13	Maintain and enhance the low density character of existing residential neighborhoods, and higher density in the downtown area.	N/A

Table B-0-8: Sustainable Development Element Consistency Analysis

Policy #	Goal/Policy	Consistency
Goal 9.1: Reduce the City's per capita energy usage.		
9.1.1	The City shall work with Southern California Edison to promote energy conservation at residences and businesses.	N/A
9.1.2	The City shall incorporate energy conservation measures into conditions of approval for new development projects.	SP complies
Goal 9.2: Reduce the total quantity of waste generated within the City requiring landfill disposal to meet or exceed the State waste diversion goals.		
9.2.1	The City shall reduce the use of disposable products at all City facilities.	N/A
9.2.2	Require all new development projects to recycle construction and demolition wastes.	SP complies
9.2.3	The City shall work with its franchise waste collection company to expand current recycling programs.	N/A
Goal 9.3: Support sustainable development through good urban design practices.		
9.3.1	Incorporate "green" building practices into the review of all new or renovated development projects.	SP complies
9.3.2	Site and building design in new developments shall maximize opportunities for efficient energy performance.	SP complies
Goal 9.4: Provide parks and open space throughout the City.		
9.4.1	The City shall implement the Open Space and Conservation Element of the General Plan to provide an average of five acres of parks and open space for every 1,000 residents.	SP Complies
9.4.2	The City shall provide trees and other landscaping along all arterial highways.	SP complies
9.4.3	The City shall seek to preserve open space and habitat areas on Blue Mountain.	N/A
Goal 9.5: Provide alternative transportation modes designed to reduce vehicle miles traveled.		
9.5.1	The City shall encourage alternative transportation modes, including mass transit, ride sharing, bicycles, and pedestrian transportation.	SP complies
9.5.2	The City shall encourage the creation of local jobs designed to reduce commuter mileage and fuel consumption.	SP complies
9.5.3	The City shall encourage new and rehabilitation projects that support alternative transportation modes.	N/A
Goal 9.6: Promote the use of non-hazardous materials in residences, businesses, and institutional facilities.		
9.6.1	The City shall discourage the use of volatile and hazardous materials at municipal facilities.	N/A
9.6.2	The City shall support public environmental health agencies in promoting healthy environment programs.	N/A
Goal 9.7 Reduce the City's per capita demand for water consumption.		
9.7.1	The City shall work with Riverside Highland Water Company to reduce water consumption throughout the City.	N/A
9.7.2	The City shall incorporate water conservation into the development review process.	SP complies
Goal 9.8 The City shall lead the development community by example in green building, and energy and resource conservation practices, as feasible.		
9.8.1	The City shall support green development standards for new or rehabilitated public buildings and facilities, as feasible.	N/A
9.8.2	The City shall actively reduce greenhouse gas emissions from public facilities throughout the community.	N/A